

COUNCIL MEETING AGENDA

Monday, May 22, 2023 – 7:00PM

- I. Call to Order
- II. Reflection and Pledge of Allegiance
- III. Roll Call: M. Heckmann, J. Maloney, R. Astor, N. Kovach, W. Oates, M. Randazzo, D. Swisher, D. Baumgarten, E. O'Malley, K. Stringent, D. Biondo, K. Truver, P. Vietmeier.
- IV. Approval of Minutes – **May 8, 2023**
- V. Public Comments Agenda Items Only
- VI. Bid Openings –
Motion to issue an intent to award a lump sum CoStars contract for Nos. 23-PK3 (Synthetic Field - \$909,052), Contract No. 23-PK5 (Lighting - \$625,353), Contract No. 23-PK6A (Courts and Trails - \$413,014), Contract No. 23-PK7 (Fencing - \$253,161) in an aggregate amount of up to \$2,200,580 to Keystone Sports Construction for the Group 2 Lower and Rear Hamilton Park Capital Improvements in accordance with the LSSE bid tabulations dated April 21, 2023, May 5, 2023, and May 19, 2023 subject to review and approval of the agreement by the Borough Solicitor.
- VII. Public Hearings
- VIII. Civil Service Commission –
Motion to accept the minutes of the Civil Service Commission dated May 15, 2023;

Motion to approve the proposal to extend the Sergeant Promotion eligibility list from May 2022 for one year to May 23, 2024, pursuant to Article V Section 503 as adopted by the Civil Service Commission;

Motion to approve the proposal to amend the Castle Shannon Rules allow for tattoo, so long as they can be covered while the employee is in uniform, pursuant to Article III Section 305(e), as adopted by the Civil Service Commission.
- IX. Real Estate Tax Collector
- X. Council Committee Reports
 - A. Public Relations/Communications
 - B. Buildings & Grounds/Public Works
 - C. Public Safety/Fire –
Motion to Authorize the Appropriate Borough Officials to Execute the Necessary Paperwork as it Relates to the COSTARS Purchase of a 2023 Ford Police Interceptor Utility AWD in the Amount of \$40,440.00
 - D. Finance
 - E. Community Activities/Planning & Codes – **Permits; Violations;**

Denny Puko, Planning Consultant, LLC Castle Shannon Borough Zoning Ordinance Audit Presentation
 - F. Library
 - G. MRTSA
 - H. Associations
 - i. South Hills Area Council of Governments (SHACOG)
 - ii. Allegheny County Borough's Association/Allegheny League of Municipalities (ACBA/ALOM)

- I. Police Pension
- J. Non-Uniformed Pension

XI. Manager's Report

Motion to Authorize the Appropriate Borough Officials to enter into a Memorandum of Understanding (MOU) between the Borough and the Pennsylvania Solar Center Partnership on the GET Solar – CONNECT program;

Motion to Authorize a Silver Sponsorship in the amount of \$300.00 to the Keystone Oaks Education Association in Support of the 2023 Dormont Dash;

Motion to Authorize the Appropriate Borough Official to Execute the Service Order Authorization for Sleepy Hollow and Killarney Drive Pedestrian Improvements in the amount of \$56,200 as prepared by Lennon Smith;

Motion to Authorize the Appropriate Borough Officials to Advertise for Public Bid the Automated Red Light Enforcement Grant Project at the Intersection of Cooke Drive and Mt. Lebanon Blvd;

Discussion Re. Vittes Parking Lot Interim Design;

Motion to Accept the Resignation of Borough Manager Katie M. Stringent.

- XII. MS4 – Update Re. Saw Mill Run Pollution Reduction Plan Project
- XIII. Mayor's Report –
- XIV. Planning Commission
- XV. Solicitor's Report
- XVI. Keystone Oaks
- XVII. Public Comment Period – Any Open Items
- XVIII. Other Business
- XIX. Adjournment

**CASTLE SHANNON BOROUGH
MINUTES OF REGULAR MEETING**

May 8, 2023

The following elected officials were present: M. Heckmann, J. Maloney; R. Astor; N. Kovach; B. Oates; M. Randazzo; D. Swisher; D. Baumgarten; E. O'Malley. The following appointed officials were present: K. Stringent, Borough Manager; K. Truver, Police Chief; P. Vietmeier, Codes Official; D. Biondo, Solicitor.

Minutes: The minutes of the April 24, 2023 council meeting were presented. Mr. Astor motioned to approve the minutes. Mr. Swisher seconded; all in favor; motion carried.

Public Comment – Agenda Items: No comments were received; therefore, the public comment section was closed.

Bid Openings: Mr. Heckmann discussed budgeting for the 2023 road programs from the capital and liquid fuels funds. Ms. Stringent presented the results of the 2023 Liquid Fuels Fund Roadway Improvement Program bid opening, which includes sections of Broadway Avenue, Highland Villa Drive, and Magnolia Drive. PennDOT's 2023 allocation to our liquid fuel fund is \$226,606. Mr. Swisher motioned to award the bid to the lowest responsible bidder – Mele & Mele & Sons Inc. for \$174,495. Mr. Astor seconded; all in favor; motion carried. Ms. Kovach asked about the balance of the state funding. Ms. Stringent answered that funds are used for rock salt, and balances roll over for additional paving in future years.

Ms. Stringent presented the bid opening of the 2023 Capital Fund Road Improvement Program. The motion was revised from the agenda to eliminate change orders. The road program includes sections of Maplewood Drive, Lindenwood Drive, and Waverly Street. Mr. Maloney motioned to award the base bid only of \$278,436.50 to the lowest responsible bidder – Mele & Mele & Sons Inc. for \$278,436.50. Mr. Swisher seconded; all in favor; motion carried.

Ms. Kovach motioned to reject the bid from Independent Enterprises Inc. for Contract No. 23-PK6 (Park Paving) and rebid subject to a bid award at a later date. Mr. Astor seconded; all in favor; motion carried.

Real Estate Tax Collector: Ms. O'Malley reported April collections of \$1,953,171.52. The year-to-date total collected is \$3,470,129.11.

Council Committee Reports

Public Relations/Communications – Mr. Heckmann gave an update on construction projects throughout the borough. The first phase of the Parks Plus Plan is underway at the front of the library, Chestnut Park, and Prospect Park. Completion is scheduled for three to four weeks, weather dependent.

Minl

PA American Water is completing water line replacements in many locations throughout the borough. This project will continue to the end of this year.

Columbia Gas is actively working on Willow Avenue. A meeting was held April 10th with an open forum to discuss restoration options (asphalt versus brick) for a section of Willow Avenue. The tenor of the room was that paving would be the appropriate choice. The borough manager spoke to the utility company, who is willing to pave it. Council is comfortable with this change. The segment is approximately from Santoro's to James Street as well as the carved-out street parking spaces adjacent to the T station. This is at no cost to the borough.

A preconstruction meeting was held today regarding construction on lower Hamilton Park. Construction and mobilization will be starting next week. Construction is expected to be 90 days.

Canal Street is an access point for the MS4 required stream bank restoration project on Saw Mill Run. This project will be completed mid-June.

Building & Grounds/Public Works – Mr. Heckmann was happy to report that the crew was able to install soldier banners on Route 88 along with other locations throughout the borough.

Public Safety/Fire: Chief Truver announced that the assessors from the PA Law Enforcement Accreditation Commission visited last week, and the department received a positive recommendation. The accreditation will occur at the Pennsylvania Chiefs Conference in July. Kudos to Accreditation Manager Lt. David Lane and his team and all the officers.

Chief Truver announced that National Police Week is May 14 – 20, 2023.

Finance: Mr. Swisher reviewed the check registers for April 28th and May 5th and had no further questions. Mr. Swisher will review his expenditure questions from April 14th and April 21st with Ms. Stringent.

Community Activities/Planning and Codes – Mr. Vietmeier reported that there have been many home sales in the borough.

Mr. Heckmann welcomed a new business – Apples to Rainbows - on Willow Avenue.

Library – Ms. Randazzo reported concrete work in front of the library has begun. An entrance is available in the rear of the building with the elevator. Also, the book drop has moved to the back of the library.

The Board of Trustees met May 4th and worked on the mission and vision statements.

The Dress for Success project was successful and assisted six women. Another event is planned for June 5th from 4 pm – 6 pm. Men who attended were provided with resources to explore.

min2

A fundraiser is planned at Chick-Fil-A on May 29th from 11 am-8 pm. A portion of sales will be donated to the library.

The Tiny Art Show was very successful with 142 canvases distributed and 107 returned (a 75% return rate). Ms. Randazzo thanked everyone that was involved.

Ms. O'Malley added that she attended Kaufmann's: The Family that Built Pittsburgh's Famed Department Store book talk and over twenty people attended.

MRTSA – Mr. Heckmann reported that MRTSA is in consultation with other neighboring agencies to discuss with the Shapiro Administration funding opportunities as it related to reimbursement rates for funding directly to EMS providers. A regional group of five communities instituted a per household/unit fee to pay for ambulance services to those communities.

SHACOG – Mr. Oates reported that the next meeting will be held May 18th.

Ms. Stringent attended a mandatory pre-bid meeting for the next five-year solid waste and recycling contract. Automation costs are projected to go up 30-40%, with manual collection much higher. Formal bid opening will be June 5th in Scott Township at 11:00 a.m.

ACBA – Ms. Kovach reported that the quarterly meeting will be held May 11th.

PSAB - Ms. Kovach plans to attend the annual conference in Hershey from June 4-7.

Police Pension/Non-Uniformed Pension: The agenda contained the December 31, 2022 pension statements for the police pension plan, non-uniformed defined contribution, and non-uniformed pension plan and non-uniformed defined contribution pension plan. Ms. Randazzo motioned to accept the pension plans' financial statements as prepared by Girard. Mr. Astor seconded; all in favor; motion carried.

Manager: Ms. Stringent presented a resignation letter from Cheryl Salera. Ms. Salera has been a valued employee of Castle Shannon Borough for the past five years and will be missed. Ms. Kovach regrettably accepted the resignation of Borough Clerk Cheryl Salera. Mr. Astor seconded; all in favor; motion carried.

Ms. Stringent presented information regarding a declaration of a sanitary sewer emergency as it related to the need for emergency sanitary sewer repairs at and around 1320 Hamilton Road. The borough was made aware of the emergency situation regarding pooling and ponding sewage from a broken, exposed sanitary line (caused by erosion) discharging into a drainage swale. Mr. Astor motioned to declare a sanitary sewer emergency at and around 1320 Hamilton Road. Mr. Swisher seconded; all in favor; motion carried.

Ms. Stringent noted that the above-mentioned sanitary emergency repair included replacement of 250 feet of sanitary sewer pipe and installation of a new manhole. The costs were reviewed by the assistant manager, council president and the borough's engineer prior to the repairs. Mr.

Min 3

Heckmann noted that the amount is over the required bidding process; however, that requirement is waived for emergency repairs. Mr. Maloney motioned to approve the expenditures in the amount of \$84,150.00 to Soli Construction Inc for the emergency sanitary sewer repair at and around 1320 Hamilton Road. Mr. Swisher seconded; all in favor; motion carried.

Mr. Astor motioned to appoint Ms. Kovach as the voting delegate for the purpose of the election of officers at the Pennsylvania State Association of Boroughs 2023 Annual Conference. Mr. Oates seconded. Ms. Kovach abstained. All in favor; motion carried.

Ms. Stringent presented a motion to award the bid for professional services for the RACP Funded Streetscape (Phase II) Design Services to KU Resources, Inc in the amount of \$149,320.00. A bid was also received from Lennon, Smith, Souleret Engineering Inc. in the amount of \$146,300.00. Ms. Stringent recommended awarding the bid to KU Resources for continuity of the project, and since they hold the Highway Occupancy Permit which may result in a cost savings from piggybacking onto PennDOT's MPT plan for the bridge replacement on Castle Shannon Blvd. In addition, Mark Patrick works exclusively for KU Resources and works primarily on RACP funding programs. Mr. Patrick has a wealth of information for this complicated project. Ms. Kovach deferred to the manager's recommendation and motioned to award the project to KU Resources Inc. Mr. Astor seconded. Mr. Swisher was opposed. Motion carried six to one.

Mr. Heckmann presented a motion to authorize a donation in the amount of \$3,000.00 to the Castle Shannon Youth Association for the 2023 Golf Outing. Historically, the borough supported the Castle Shannon Revitalization Golf Outing through hours of staff support from administration, public works, and Chief Truver which was estimated to be assessed at cost of \$3,000.00. Mr. Gigliotti of CSYA stated that the event has been going on for four years and has grown significantly with both golfing participants and hole sponsors. Hole sponsorship is reasonable at a cost of \$50.00. The golf outing is wholly organized and operated by CSYA volunteers. The venue will be Butler's Golf Course this year on October 7th. Mr. Gigliotti reported that the fundraiser makes \$1,000-\$1,500 per year. Mr. Maloney added that the proceeds are used for uniforms, equipment, and umpire fees. The CSYA has 107 children registered, and approximately 10-15 children receive financial assistance with their registration fees. Ms. Kovach and Mr. Gigliotti discussed sponsorship opportunities and donations. Mr. Oates suggested that the motion be changed to a general donation, and not specifically for the golf outing. Mr. Swisher motioned to authorize the donation to the Castle Shannon Youth Association for \$3,000.00. Ms. Randazzo seconded; all in favor; motion carried.

Mr. Heckmann discussed a request to enter into an agreement with the Castle Shannon Revitalization Corporation to allow the installation of two (2) charge point electric vehicle chargers at the James Street Parking Lot at a borough cost of approximately \$16,000 plus the annual cost of electricity. This would restrict four parking spots for the charging stations. Mr. Salvayon stated that the CSRC would match the borough's contribution of \$16,000, and installation costs are covered by Duquesne Light's Community Charging Program with a 10-year maintenance plan and 10-year warranty. Duquesne Light would provide the meters, the underground conduit, and pole installation if required. There is also a PA Drive Forward rebate program which allows for \$3,500 per plug-in. The software program has the ability to charge a

mm4

fee for the charging stations and has many customization features. Cost of electricity is estimated at \$500-\$600 per year. Mr. Swisher proposed the installation of one station, thereby eliminating only two public parking spots. Mr. Salvayon described the parking areas, handicapped designated parking, and available parking spots. Mr. Salvayon continued stating the project would increase patrons to the area, and the majority of business owners are in favor of this project.

The discussion on EV chargers continued. Mr. Heckmann noted that four parking spaces would be restricted to EV charging only. Chief Truver advised that the parking ordinance would need to be amended for the police to enforce the parking restriction. Mr. Oates questioned if the lot is usually filled to capacity on average during the weekdays or weekends. Mr. Salvayon answered that perhaps half the parking lot gets filled. Ms. Kovach added that Willow Station has their own parking area. Mr. Heckmann noted that the borough has purchased the Vitte's property, and that parking lot will be accessible to the public where a charging station could be planned for the future. Mr. Salvayon explained that both the Duquesne Light installation and PA Drive Forward grant requires a long-term installation. Mr. Heckmann discussed a CONNECT program which has launched a solar program to assess areas for solar related electric chargers, and he is more in favor of using solar energy than paying for electric. Ms. O'Malley questioned charging a fee for electricity or a parking space. Mr. Heckmann answered that none of the parking spots on James Street are metered. Mr. Swisher reiterated that he does not believe four spots should be restricted for public parking; but may possibly be in favor of one charging station depending on the cost. Ms. Kovach stated that solar powered chargers are a new concept and may take time before that resource can be used.

Mr. Astor motioned to allow the appropriate borough officials to enter into an agreement with the Castle Shannon Revitalization Corporation to allow for the installation of two (2) charge point electric vehicles chargers at the James Street Parking Lot at a borough cost of \$16,000 plus the annual cost of electricity. Ms. Kovach seconded. A roll call vote was held as follows: Mr. Maloney – no, Mr. Astor – no, Ms. Kovach – yes, Mr. Oates – yes, Ms. Randazzo – no, Mr. Swisher – no, Mr. Heckmann – no. Motion did not pass. Mr. Heckmann added that he would like to see a proposal and cost for one charging station and evaluate the Vitte's property as an appropriate location.

MS4: Mr. Heckmann noted that the stream bank restoration is going swimmingly.

Mayor's Report – Mayor Baumgarten presented a proclamation for National Police Week May 14-20, 2023 to recognize and honor the service and sacrifice of those law enforcement officers killed in the line of duty while protecting our communities and safeguarding our democracy. Mayor Baumgarten further called upon all citizens of Castle Shannon to observe May 15th as Peace Officer's Memorial Day in honor of those officers who through their courageous deeds have made the ultimate sacrifice in service to their community – specifically Chief Justin McIntire, Brackenridge Police and Officer Sean Sluganski, McKeesport Police from our region.

Mayor Baumgarten discussed the police local use of radar bill which is in the Senate Appropriations Committee. Changes will need to be made before being presented to the

MMS

Transportation Committee of the House of Representatives, where the bill has never been approved.

Keystone Oaks: Santo (Sonny) Raso, Vice President of KOSD School Board – announced that graduation will be June 9th.

Public Comment:

Bryan Gigliotti, Poplar Avenue – announced that sign-ups for the 2023 Summer Recreation Program will be held on Saturday, May 13th from 10 am – 12 noon at the Castle Shannon Municipal Center and Community Library of Castle Shannon. Residents can continue to register at the Castle Shannon Municipal Center after that date. The program will run from June 22nd to July 27th at Riehl Park.

Mary Kay & Jeff Lewandowski – discussed an animal infested, abandoned house on their street. The owner does not cut the grass in back of the house. Ms. Lewandowski showed pictures of the property to borough council and noted that the owner will not sell the property. The dilapidated property is devaluing the neighborhood. Mr. Vietmeier stated that he visits the house each year, and code violation letters have been ignored. Mr. Vietmeier will visit the site and do a comprehensive assessment this week.

Sonny Raso, Hastie Road – in lieu of police week, Mr. Raso acknowledged Officer Kalas for his work in the borough and wished him the best in his future endeavors.

Mr. Raso noted the renovations at Chestnut Park and questioned whether lighting and water would be installed. Mr. Heckmann answered there are no plans for those utilities, however lower Hamilton Park will be lit.

Mr. Raso questioned if the pollution reduction project on Canal Street would involve dredging the creek. Mr. Heckmann responded that debris would be removed, and plants installed for pollutant reduction and sedimentation control. Mr. Swisher noted that this project is mandated by the state.

Mr. Raso wished everyone good luck on election day.

David Seiler, Arch Avenue - noted that a borough truck has been parked by Stout Carpeting for the past month. Mr. Oates responded that the truck is waiting receipt of parts for repair.

Mr. Heckmann closed the public comment section.

Other Business: Mr. Heckmann stated that council will recess to executive session to discuss a personnel matter.

Ms. Kovach attended State Representative Dan Miller's discussion on solar panels for homes and presented information for council mail. Mr. Heckmann added that the borough is noting an increase in permits for solar panels for homes.

min 6
6

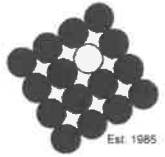
Mr. Astor motioned to adjourn. Ms. Randazzo seconded; all in favor; motion carried.

Approved as presented this 22nd day of May 2023.

Katie M. Stringent
Borough Manager

Mark J. Heckmann
Council President

Min 7



LSSE

Civil Engineers and Surveyors

HEADQUARTERS IN CORAOPOLIS, PENNSYLVANIA

MANAGING PRINCIPALS

Kevin A. Brett, P.E.
Ned Mitrovich, P.E.
Jason E. Stanton, P.E.

April 21, 2023

S. O. No. 0253-108

VIA EMAIL ONLY
(kstringent@csboro.org)

Ms. Katie Stringent, Borough Manager
Borough of Castle Shannon
3310 McRoberts Road
Castle Shannon, Pennsylvania 15234

Subject: Request for COSTARS Proposal
Contract No. 23-PK4
Lower Hamilton Park – Synthetic Multi-Use Field

Dear Ms. Stringent:

LSSE has completed a review of the proposals received in response to the Request for Proposal for the construction of a synthetic multi-use field for Lower Hamilton Park. Two proposals were received (copy of each attached) and are summarized below.

Contractor	Base Bid	Alternate No. 1	Alternate No. 2	Alternate No. 3
Keystone Sports Construction	\$833,146.70	\$51,012.28	-\$21,600.00	\$46,492.61
Force Turf Solutions Inc./ Shaw	\$881,160.00	\$42,120.00	-\$8,640.00	\$42,000.00

Base Bid – 42 oz. synthetic turf

Alternate No. 1 – Additional cost for 52 oz. synthetic turf in lieu of 42 oz.

Alternate No. 2 – Deduct to install alternative underdrain system

Alternate No. 3 – Cost to remove and dispose of topsoil off-site in lieu of stockpiling in Upper Hamilton

As presented above and in the bid tabulation, Keystone Sports Construction is the apparent low bidder. The work proposed is eligible through procurement through COSTARS Vendor Contract No. 014-E23-312.

OFFICES IN: Allegheny, Beaver, Erie and Westmoreland Counties Pennsylvania; Franklin County, Ohio

846 Fourth Avenue Coraopolis, PA 15108 (412) 264-4400 Fax: (412) 264-1200	150 Pleasant Drive, Suite 204 Aliquippa, PA 15001 (412) 264-4400 Fax: (412) 264-1200	10560 Walnut Street Albion, PA 16401 (814) 756-4384 Fax: (814) 756-5638	4534 Route 136, Suite 9 Greensburg, PA 15601 (724) 837-1057 Fax: (412) 264-1200	5980 Wilcox Place, Suite J Dublin, OH 43016 (614) 395-1661
--	---	--	--	--

301

Ms. Katie Stringent, Borough Manager
Borough of Castle Shannon
April 21, 2023
Page 2

The following table presents the total amounts for each combination of the Base Bid and Alternates from Keystone Sports Construction's proposal:

Description	Total Cost
Base Bid and Alternate No. 2: <ul style="list-style-type: none">• 42 oz. Synthetic Turf• Installation of Alternative Underdrain System	\$811,546.70
Base Bid, Alternate Nos. 1 and 2: <ul style="list-style-type: none">• 52 oz. Synthetic Turf• Installation of Alternative Underdrain System	\$862,558.98
Base Bid, Alternate Nos. 1, 2 and 3: <ul style="list-style-type: none">• 52 oz. Synthetic Turf• Installation of Alternative Underdrain System• Disposing Topsoil Off-Site	\$909,051.59

Based upon the bids submitted, LSSE recommends award of the Base Bid and Alternate Nos. 1, 2 and 3 in the amount of \$909,051.59 to Keystone Sports Construction subject to contractor obtaining the required insurance certificates and review and approval of same by the Borough Solicitor prior to execution of the Agreement by the Borough.

If acceptable to the Borough, the next step is for the Borough to issue a notice of intent of award of the Base Bid and Alternate Nos. 1, 2 and 3 in the amount of \$909,051.59 to Keystone Sports Construction. The vendor will then initiate the formal Contract Procurement process via COSTARS that will include contract, shop drawings and warranty information for execution by the Borough.

Should you have any questions, please contact Joshua R. Callender, E.I.T. directly (Ext. 284).

Sincerely,



Jason E. Stanton, P.E.

JES/nlk

Attachments

cc/att: Dennis Biondo, Solicitor (drbiondo@aol.com)

B02

Turf Field – Synthetic Turf Proposal

DATE OF PROPOSAL: April 21, 2023 **#964159**

PREPARED FOR: Castle Shannon Borough
Katie Stringent
3310 McRoberts Rd,
Castle Shannon, PA 15234

PREPARED BY: Keystone Sports Construction
Christopher W. Wright, Managing Member
1100 Schell Ln, Suite 104
Phoenixville, PA 19460

PROJECT ADDRESS: Hamilton Park, Castle Shannon Borough

Keystone Sports Construction is pleased to present the following proposal. This offer includes the removal of topsoil, supply and installation of the synthetic turf system for Castle Shannon Borough Hamilton Park. This proposal has been prepared based on discounted Costars pricing rates. Costars provides predetermined preferential pricing through approved vendors. Since this contract has already been bid at the state level, individual schools do not have to duplicate the bidding process per Costars contract # (COSTARS-14-E23-312) and in accordance with the plans and specifications provided by Kevin Brett. All pricing herein is based on **prevailing wage rates**. Pricing in this proposal based on quantities and plans provided on 4/20/23.

WHEREAS, Castle Shannon Borough (hereinafter "OWNER") wishes to have one (1) synthetic turf athletic field installed at one (1) recreational sports facility generally in keeping with the Scope of Work described herein, and as otherwise may be agreed upon in writing by the parties hereto;

AND WHEREAS, OWNER intends to retain the services of Keystone Sports Construction (hereinafter "KEYSTONE"), for the purposes of installing the recreational synthetic turf field as described herein;

THEREFORE, in consideration for the payment of the total purchase price of:

(Next Page)

B03

Item No.	Item Description	Quantity	Unit	Unit Cost	Item Cost
BASE BID					
1	Mobilization, Bonds, Insurance and MPT	1	LS	\$ 63,363.64	\$ 63,363.64
2	Removal and Stockpile of Topsoil in Upper Hamilton Parking Lot	2	AC	\$ 14,770.46	\$ 29,540.91
3	Erosion and Sedimentation Control Area Field Area Only	2	AC	\$ 6,365.34	\$ 12,730.68
4	Earth Work including cut/fill on site including preparation of subgrade and compacting	600	CY	\$ 13.30	\$ 7,977.27
5	Weak Subgrade Repair, Excavate 12" place Class 4 Fabric and install 12" PennDOT 2A Limestone	850	SY	\$ 47.78	\$ 40,616.48
6	Provide and Install 42 oz Synthetic Turf per Detail including AASHTO No. 57 (4" Average Depth) with 2" PennDOT Antiskid or AASHTO # 9, or AASHTO No. 57 (5" Average Depth) with 1" PennDOT Antiskid or AASHTO # 9 as applicable for your product either is acceptable (Slag Not Permitted). Item also includes installation of 4 Oz. Non-Woven Geotextile on subgrade. Complete in Place (Provide shop drawing with bid of field line layout and colors)	78,000	SF	\$ 6.53	\$ 509,290.44
7	6" by 12" Concrete Perimeter Curb	1,200	LF	\$ 71.53	\$ 85,840.91
8	12" Perforated HDPE Underdrain , including all fittings (Connection to main storm system from field)	0	LF	No Bid	
9	8" Perforated HDPE Underdrain , including all fittings	900	LF	\$ 29.43	\$ 26,485.23
10	4" Perforated HDPE Underdrain , including all fittings	2,700	LF	\$ 19.60	\$ 52,926.14
11	Synthetic Turf Groomer (Provide shop drawing with bid for review and approval)	1	EA	\$ 4,375.00	\$ 4,375.00
Base Bid Subtotal					\$833,146.70

B04

ALTERNATE NO. 1 - TURF					
A-1	Provide and Install 52 oz Synthetic Turf in stead of 42OZ Complete in Place, this item is the cost increase to change fabric from 42oz to 52 oz product in item 6 above ((Provide shop drawing with bid of field line layout and colors)	78,000	SF	\$ 0.65	\$ 51,012.28
Alternate No. 1 Turf Subtotal					\$51,012.28
ADD/DEDUCT NO. 2 - ALTERNATIVE UNDERDRAIN SYSTEM					
A-2	Cost Difference to install alternative 1"x12" flat Perforated Underdrain System in lieu of Item 10. Provide detail of alternate underdrain system with bid.	2,700	LF	\$ (8.00)	\$ (21,600.00)
Add/Deduct No. 2 Turf Subtotal					-\$21,600.00
ADD/DEDUCT NO. 3 - ALTERNATIVE REMOVE AND DISPOSE OF ALL TOPSOIL					
A-3	Cost to remove and Dispose of Topsoil from Site-8" Depth	2	AC	\$ 23,246.31	\$ 46,492.61
Add/Deduct No. 3 Topsoil Removal Subtotal					\$46,492.61

SCOPE OF WORK

KEYSTONE hereby agrees to supply site preparation and install of Rhino Blend synthetic turf playing surface, manufactured by AstroTurf, in Dalton, Georgia, as required, at the work sites (hereinafter "Project Site Location"), generally in accordance and as further described within the "Scope of Work" set out below and otherwise in keeping with the terms and conditions of this Supply & Installation proposal, the parties hereto agree as follows;

- 1) **Schedule:**
 - a) Commencement Date: TBD
 - b) Completion Date: TBD

- 2) **Demobilization & Post-Completion:**
 - a) Inspection/punch list/close out of Project Site Location with OWNER.

BOS

- b) Perform site clean-up inclusive of removal of waste materials and deposit same in a dumpster or other receptacle supplied by KEYSTONE.
- c) Demobilize equipment and labor.
- d) One bag of rubber infill will be left on site for any future infilling (this item must be kept in a protected area).

3) **Extras:**

- a) Any materials and/or services not expressly included in this Scope of Work, are not included within the Proposal price and if requested to be supplied or performed by OWNER in writing, and agreed to by KEYSTONE, shall be deemed an extra to this Supply and Installation Proposal. Said additional materials and/or services shall be supplied and/or performed at a cost to be agreed by the parties hereto in writing.

4) **Exclusions:**

KEYSTONE has NOT INCLUDED the following items in the Scope of Work and are therefore not reflected in the contract price:

- a) Any item not included within the Scope of Work herein
- b) Mobilization and de-mobilization in greater occurrence than the one (1) mobilization anticipated
- c) Engineering and/or design fees including but not limited to the storm water pollution prevention plan
- d) Survey and layout work beyond the work required to ensure compliance of the installation.
- e) Liquidated damages
- f) Permits, fees, licenses, sales and use tax
- g) Rock excavation, removal and disposal
- h) Unsuitable soils
- i) Lime, lime slurry and cement stabilized sub-grade treatments
- j) Site security
- k) Scoreboards, time-keeping and communication system components.
- l) Underground, multi-chamber, extended detention, sand filters and level spreader systems are excluded.
- m) Extra excavation and aggregate needed if customer decides to change any field elevations from current proposed elevations.
- n) Contaminated soils removal (we assume soils are DEP environmentally clean for export).
- o) Pipe not included in the descriptions and quantities above
- p) Bleachers, Fence, Sidewalk
- q) Any work outside of turf perimeter curb

5) **Special Conditions:**

BO Ce

- a) **INFORMATION AND RESPONSE:** OWNER will promptly respond to all KEYSTONE reasonable requests for information, and in so doing, provide KEYSTONE with full and complete disclosure to ensure project continuity and minimize delays.
- b) **ACCESS:** Once the work commences, KEYSTONE is to have full, direct and easy access and right of way to the Project Site Location. It is hereby acknowledged and agreed that KEYSTONE is not responsible for any damage as a result of moving men and equipment through any point of entry or access to or from the Project Site Location. OWNER is responsible to provide clear, stable, appropriate and safe access to and from the Project Site Location. A staging area will be made available by the OWNER to KEYSTONE within reasonable proximity to the Project Site Location.
- c) **UNDERGROUND SERVICES OR OBSTRUCTIONS:** OWNER will be solely responsible for all costs associated with removal/relocation of any above ground or underground obstructions such as hazardous materials or any unidentified substances, utilities or services (except those utilities identified by KEYSTONE /OWNER), which will impede or hinder the performance of the Scope of Work or access to the Project Site Location.
- d) **LIGHTING, ELECTRICITY & FACILITIES:** Existing lighting (if required), use of existing permanent electrical power, facility restrooms and access are to be provided and maintained by OWNER for KEYSTONE use during its performance of the Scope of Work at the Project Site Location. All such utilities or facilities will be supplied at no cost to KEYSTONE and will not be the subject of a credit or chargeback to this Supply and Installation Contract.
- e) **UNION LABOR:** OWNER acknowledges and understands that KEYSTONE is an 'open or merit shop' and as such is a non-unionized company. Further, OWNER acknowledges and understands that KEYSTONE has determined and agreed to the Contract Price based on this premise. In the event KEYSTONE'S ability to perform its Scope of Work or access to the Project Site Location is impeded by union activity and KEYSTONE is reasonably required to utilize union labor or pay union wage rates to complete the Project or any aspect of it, such additional labor costs incurred by KEYSTONE, if any, shall be at the expense of OWNER and will be deemed to be an approved extra to the contract price. KEYSTONE to follow Department of Labor requirements.
- f) **DELIVERY:** Any materials, including without limitation, synthetic turf rolls, infill, materials, tools, equipment or other sundry items delivered to OWNER by KEYSTONE prior to the Commencement Date shall be deemed to be under KEYSTONE care, custody, and control, and as such, KEYSTONE is at full risk regarding material quantity reconciliation and the replacement of lost or stolen materials. All materials, including

1307

without limitation, synthetic turf rolls, infill, materials, tools, equipment or other sundry items so delivered by KEYSTONE shall remain the property of KEYSTONE pending completion of the Scope of Work and payment in full of the contract price. KEYSTONE agrees to name OWNER as additional insured and maintain liability limits of \$1,000,000 (one million dollars) per occurrence.

- g) **PROPOSAL PRICING:** The Scope of Work and Proposal Pricing herein are valid for a period of Thirty (30) calendar days from the date of this proposal. The price is subject to increase if affected by an increase in freight, raw materials, taxes, levies or any new legally binding imposition affecting the transaction. Negotiations continuing beyond the date and time of expiration shall require the submittal of a separate proposal, at the discretion of Keystone Sports Construction.
- h) **PAYMENT TERMS:**
- DRAW #1 - 30% of total contract price and full bonding costs due upon signing
 - DRAW #2 - 30% upon mobilization.
 - DRAW #3 - 30% upon greening of the field.
 - DRAW #4 - 10% (remainder/balance) due upon completion and for field and warranty to be released for use. Use of field without complete payment, results in voidance of warranty.
- i) **ADVERSE WEATHER DELAY:** shall be quantified, recorded and qualified for any monthly total exceeding normal weather occurrences as recorded by on-site weather data station or closest NOAA Weather Station. Adverse Weather Delays are considered for any weather event that deviates from the normal duration, rate, frequency or other normal as recoded by historic weather data services. Adverse Weather Delays are considered for any 24-hour period that receives greater than 0.1 inch precipitation or when low temperatures are 32° Fahrenheit or below. Delays in excess of normal occurrences shall be submitted for approval and any costs associated with the delay shall be submitted for inclusion in the contract by change order. Date of substantial completion shall be adjusted accordingly and based upon the approval of the submitted delay request.
- j) **ACCESS AND EGRESS:** Removal/repair to existing asphalt walks/drives/roads/parking lots. –Damage caused to property by KEYSTONE outside the access and egress areas and normal work area around the fields, will be repaired in a proper manner by KEYSTONE. KEYSTONE to provide digital Dropbox folder of entire project start to finish. Walks or drives that are currently damaged or risk compromise or damage are not covered by KEYSTONE. Damage to Access and egress to and from the fields for construction is the responsibility of the owner.

BOB

- k) **CONSTRUCTION CONTINGENCY:** It is advised that the OWNER maintain a contingency account throughout the term of the contract. This account should contain liquid funds equal to 10% of the Contract Sum.

- l) **CONFIDENTIALITY:** This proposal contains the confidential and proprietary work product of KEYSTONE SPORTS CONSTRUCTION and should not be shared by you with any third parties other than representatives or advisers retained by you with respect to the subject project.

KEYSTONE SPORTS CONSTRUCTION

Signature: _____

Printed Name: _____

Title: _____

Date: _____

OWNER

Signature: _____

Signature for Bonding: _____

If the above line is not signed, we will not order a payment and performance bond for this project.

Printed Name: _____

Title: _____

Date: _____

B09



RHINO BLEND 42



AstroTurf's Rhino Series synthetic sports turf is a good choice for clients who want to increase the playing time and performance of their sports fields. The Rhino Series systems benefit from AstroTurf's legendary quality control protocols, industry-leading R&D efforts and start to finish control over manufacturing, civil construction and installation.

Rhino Series Blend products combine high quality Legend monofilament fibers and slit film fibers for resistance to wear and aesthetics for your field.

Rhino Series fields play and look so natural, yet provide the easy maintenance and exceptional durability we've become famous for over the past 50+ years.

- ◆ Exclusive, precise in-house fiber masterbatch formulations with cutting edge ultraviolet and heat stabilizers
- ◆ Legend-shaped monofilament fibers that refract light naturally for a grass-like appearance
- ◆ Legend monofilament fibers are 330 microns thick for enhanced durability
- ◆ Exceptionally durable slit film fibers for resistance to wear
- ◆ Entanglement technology, wherein we entangle molecular side chains to reinforce the fiber and prevent splitting
- ◆ Multi-layer woven primary backing
- ◆ The latest polyurethane technology to enhance tuft lock, dimensional stability and fiber adhesion, with polymer formulations engineered in Germany and applied in our own American factory

RHINO BLEND

Rhino Series Blend products combine high quality Legend monofilament fibers and slit film fibers for resistance to wear and aesthetics for your field.



"We're extremely pleased with our new AstroTurf athletic fields. They represent an important part of a world-class multi-sport venue."

Kerry Martin, President of SOZO Sports (WA)

BO 10



Allegheny Co. Sports & Athletic Complex - Montour Junction, PA



Lake Howell High School - Winter Park, FL



Mendota High School - Mendota, CA



University of Michigan - Ann Arbor, MI

FINISH FABRIC	VALUE	ASTM TEST METHOD
Face Yarn Type	Legend Polyethylene Monofilament and Polyethylene Slit Film	N/A
Yarn Denier	10,400 (6 ends, 1,800 denier per end for Mono, 10,000 denier per end for Slit Film)	D-1577
Yarn Thickness	330 microns for Mono, 115 microns for Slit Film	D-3218
Pile Weight	42 oz per SY	D- 5848
Finished Pile Height	2.0"	D-5823
Standard Field Color	Field/Lime Green, Field Green	None
Construction	Tufted	None
Turf Density	756 oz/yd ³	HUD 44d
Gauge:	3/8"	D-5793
Primary Backing	7.0 oz per SY Multilayer Polypropylene/Polyester	D- 5848
Secondary Backing	20 oz per SY Polyurethane	D- 5848
Total Carpet Weight	68.5 oz per SY (+/- 5%)	D-5848
Turf Roll Dimensions	15' wide by custom lengths up to 220'	N/A
Perforations	3/16" holes on staggered 4" (approximate) centers	N/A
Turf Permeability	> 30" +/- per hour	F-1551
Tuft Bind	> 8 lbs	D-1335
Grab Tear Strength (Average)	> 200 lbs	D-5034
Lead Content	< 50 ppm	F-2765
Elongation to Break	> 50%	D-2256
Yarn Breaking Strength	> 20 lbs	D-2256
Yarn Melting Point	248° F	D-789
Flammability	TEST PASSED	D-2859

Some of our installations include:

- | | | | |
|-------------------------------------|------------------------------------|--|--------------------------------------|
| University of Akron (OH) | Chartiers Houston High School (PA) | Lakeville South High School (MN) | Sacred Heart Preparatory School (CA) |
| Albion College (MI) | Cleveland State University (OH) | La Roche College Athletic Complex (PA) | Sapulpa High School (OK) |
| Andover Schools (KS) | Colquitt County High School (GA) | Lutheran West High School | Schurz High School (IL) |
| Artesia School District (NM) | Davenport University (MI) | Lynchburg City Stadium (VA) | Soquel High School (CA) |
| Aurora University (IL) | Fort Scott High School (KS) | Maize High School (KS) | Southwest Christian School (TX) |
| Baldwin Wallace College (OH) | Gig Harbor High School (WA) | Miss Porter's School (CT) | Starfire Sports Complex (WA) |
| Baylor School (TN) | Glennville State College (WV) | Mississippi State University (MS) | The Benjamin School (FL) |
| Berkeley High School (CA) | Grand Canyon University (AZ) | Mt. Lebanon High School (PA) | Troy University (AL) |
| Bishop Verot High School (FL) | The Harker School (CA) | University of Oklahoma (OK) | United Sports Training Center (PA) |
| Blue Springs School District (MO) | Kalamazoo College (MI) | Oviedo High School (FL) | Villanova University (PA) |
| Carroll County School District (GA) | Kamehameha School (HI) | Prince William High School (VA) | Waterloo CSD (IA) |
| Central Michigan University (MI) | Kiski Area School District (PA) | Ripley High School (WV) | Waukesha School District (WI) |



Note: Valid 01/01/2020 - 12/31/2020. Any change from the specified values is considered a special product that will require confirmation from manufacturing prior to ordering. All values are ± 5%. AstroTurf® has the right to modify technical specifications on the above-mentioned product. Delivered products can slightly differ from the technical data. AstroTurf® guarantees the technical quality of the proposed article.



BO 11

2680 Abutment Rd, Dalton, GA 30721
 (800) 723-TURF help@astroturf.com
 www.astroturf.com @AstroTurfUSA



ROOTZONE 3D3 BLEND 52

AstroTurf's RootZone® 3D3 Blend now features the exciting new TRIONIC monofilament fiber as a standard feature. For the first time in the history of the industry, our experts have molecularly fused Polyethylene and Nylon into a single Trionic fiber. That translates to softness AND durability.

AstroTurf's RootZone 3D Series boasts the RootZone technology. The RootZone is a system of texturized fibers that curl down to create a net-like matrix that encapsulates infill - dramatically reducing infill spray during play and infill migration over time.

The RootZone's benefits are numerous. RootZone 3D fields offer grass-like traction, per independently funded, peer reviewed research by Michigan State University. Plus, by better keeping infill in place, the RootZone promotes more consistent footing and more uniform shock absorption over time. And with a more uniform infill level, UV exposure to the fibers is more consistent across the field, which boosts the field's longevity.

With three unique fibers - the RootZone, Trionic monofilament fibers and ultra-durable slit film fibers— the RootZone 3D3 Trionic Blend offers exceptional durability, player protection and aesthetics.

"We've been thrilled with our new Trionic field from AstroTurf. It's allowed us to utilize Memorial for football, soccer, lacrosse and even PE classes, no matter what the weather has had in store. And with the Trionic field we have the confidence that it'll hold up to the heavy usage we need for years to come."

Ed Ploof, Athletic Director, Bellarmine Prep (Tacoma, WA)

ROOTZONE 3D3 BLEND 52



Colors to be manufactured with PE Legend Fiber

- ◆ Exclusive, precise in-house fiber masterbatch formulations with cutting edge ultraviolet and heat stabilizers
- ◆ Trionic monofilament fibers featuring a proprietary co-polymer blend of Polyethylene and Nylon in a single fiber
- ◆ Entanglement technology, wherein we entangle molecular side chains to reinforce the fiber and prevent splitting
- ◆ Extremely durable slit film fibers
- ◆ RootZone infill stabilization system
- ◆ Multi-layer woven primary backing
- ◆ The latest polyurethane technology to enhance tuft lock, dimensional stability and fiber adhesion, with polymer formulations engineered in Germany and applied in our own American factory

B30 12



Boys' Latin School - Baltimore, MD



Oklahoma State University - Stillwater, OK



De La Salle High School - Concord, CA



Kansas State University - Manhattan, KS



FINISH FABRIC	VALUE	ASTM TEST METHOD
Face Yarn Type	Trionic PE/PA Co-Polymer Monofilament, Polyethylene Slit Film and RootZone	N/A
Yarn Denier	16,000 (6 ends/1,800 per end for Mono, 10,000 per end for Slit Film and 8 ends/700 denier per end for RootZone)	D-1577
Yarn Thickness	330 microns for Mono, 115 microns for Slit Film and 100 microns for RootZone	D-3218
Pile Weight	52 oz per SY	D- 5848
Finished Pile Height	2.0"	D-5823
Standard Field Color	Field/Lime Green, Field Green	None
Construction	Tufted	None
Turf Density	936 oz/yd ³	HUD 44d
Gauge:	3/8"	D-5793
Primary Backing	7.0 oz per SY Multilayer Polypropylene/Polyester	D- 5848
Secondary Backing	20 oz per SY Polyurethane	D- 5848
Total Carpet Weight	78.5 oz per SY (+/- 5%)	D-5848
Turf Roll Dimensions	15' wide by custom lengths up to 220'	N/A
Perforations	3/16" holes on staggered 4" (approximate) centers	N/A
Turf Permeability	> 30" +/- per hour	F-1551
Tuft Bind	> 8 lbs	D-1335
Grab Tear Strength (Average)	> 200 lbs	D-5034
Lead Content	< 50 ppm	F-2765
Elongation to Break	> 50%	D-2256
Yarn Breaking Strength	> 20 lbs	D-2256
Yarn Melting Point	248° F (Slit Film) / 258° F (Trionic)	D-789
Flammability	TEST PASSED	D-2859

Some of our installations include:

Alamodome (TX)
 Anne Arundel County Schools (MD)
 Appleton Area School District (WI)
 Arizona Cardinals Practice Field (AZ)
 Austin ISD (TX)
 Bellarmine Prep (WA)
 Beverly Hills Unified School District (CA)
 Boston College (MA)
 Brother Rice High School (MI)
 Cheyenne Mountain School District 12 (CO)
 Colorado Rapids Youth Soccer Academy (CO)
 Corpus Christi ISD (TX)

Davenport University (MI)
 De La Salle High School (CA)
 University of Delaware (DE)
 DePauw University (IN)
 East Rochester High School (NY)
 El Paso Gridley High School (IL)
 Evangel University (MO)
 Fore Kicks Soccer Complexes (MA)
 Global Premier Soccer (NH)
 Grand Canyon University (AZ)
 Greensboro College (NC)
 Kansas State University (KS)

Los Angeles Unified School District (CA)
 Liberty University (VA)
 Marin Catholic High School (CA)
 The McCallie School (TN)
 Mississippi State University (MS)
 North Broward Prep (FL)
 Oconee County Schools (GA)
 The Ohio State University (OH)
 University of Oklahoma (OK)
 Oklahoma State University (OK)
 Paramus Catholic High School (NJ)
 Penn State University (PA)

Ringgold High School (PA)
 Saint John Bosco High School (CA)
 Salina High School (KS)
 Sam Houston State University (TX)
 Silverlakes Equestrian & Sports Park (CA)
 Texas A&M University (TX)
 Tri-Town High School (ME)
 Tulane University (LA)
 University Liggett School (MI)
 Utah State University (UT)
 Viera Regional Park (FL)
 The Village School (TX)



Note: Valid 01/01/2020 - 12/31/2020. Any change from the specified values is considered a special product that will require confirmation from manufacturing prior to ordering. All values are ± 5%. AstroTurf® has the right to modify technical specifications on the above-mentioned product. Delivered products can slightly differ from the technical data. AstroTurf® guarantees the technical quality of the proposed article.



BO 13

2680 Abutment Rd, Dalton, GA 30721
 (800) 723-TURF help@astroturf.com
 www.astroturf.com @AstroTurfUSA

Castle Shannon Borough - Lower Hamilton Park Synthetic Multi-Use Field

COSTAR Bid - FINAL

Bids Due April 20, 2023 - 4:30PM

Contractor: Force Turf Solutions/Shaw Sports

Area A-Fields

Construction Start: September 1, 2023

Construction Complete: November 15, 2023

COSTARS No. 014-E23-321

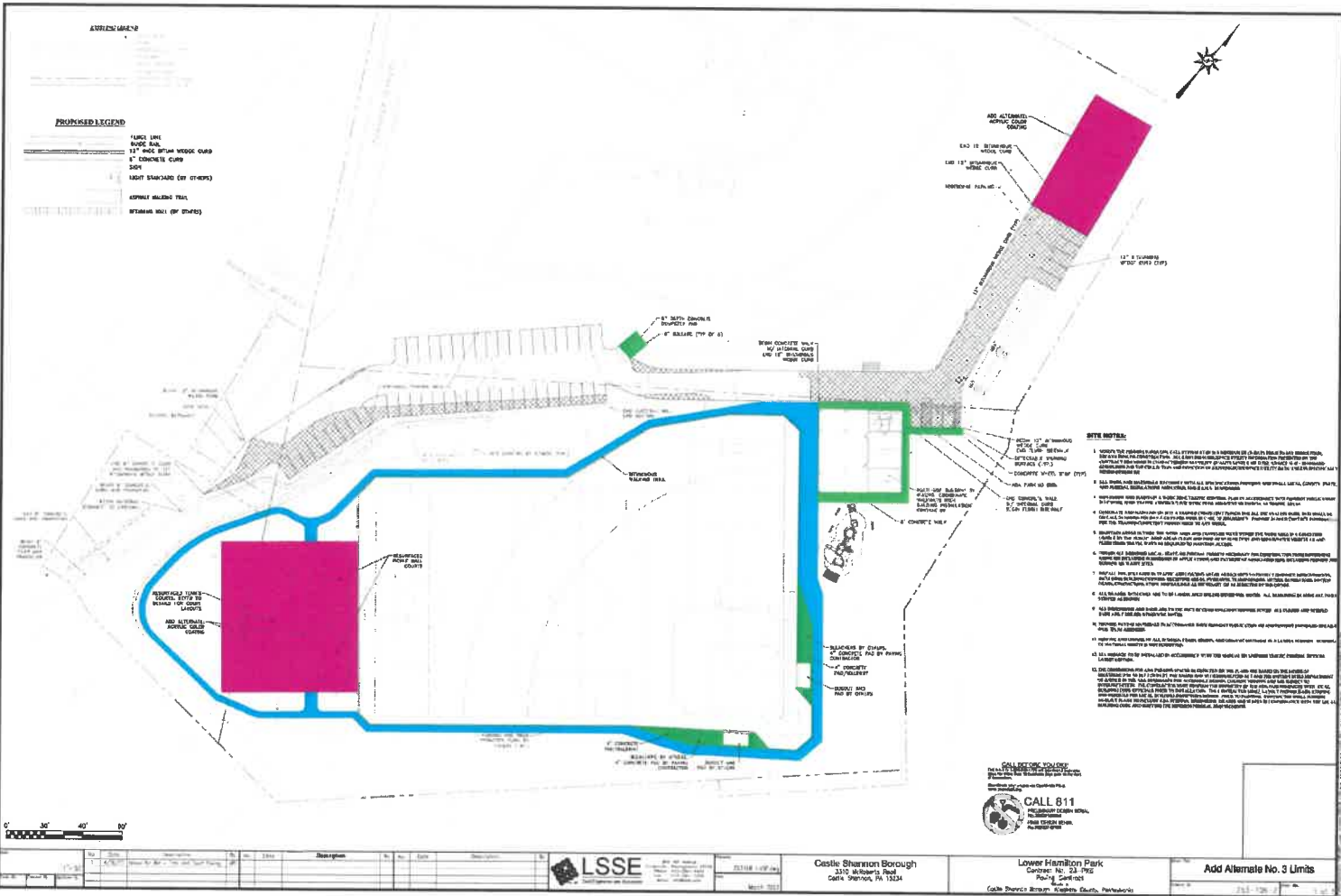
Item No.	Item Description	Quantity	Unit	Unit Cost	Item Cost
BASE BID					
1	Mobilization, Bonds, Insurance and MPT	1	LS	\$ 42,000.00	\$ 42,000.00
2	Removal and Stockpile of Topsoil in Upper Hamilton Parking Lot	2	AC	\$ 10,000.00	\$ 20,000.00
3	Erosion and Sedimentation Control Area Field Area Only	2	AC	\$ 4,200.00	\$ 8,400.00
4	Earth Work including cut/fill on site including preparation of subgrade and compacting	2,000	CY	\$ 34.00	\$ 68,000.00
5	Weak Subgrade Repair, Excavate 12" place Class 4 Fabric and install 12" PennDOT 2A Limestone	850	SY	\$ 24.00	\$ 20,400.00
6	Provide and Install 42 oz Synthetic Turf per Detail including AASHTO No. 57 (4" Average Depth) with 2" PennDOT Antiskid or AASHTO # 9, or AASHTO No. 57 (5" Average Depth) with 1" PennDOT Antiskid or AASHTO # 9 as applicable for your product either is acceptable (Slag Not Permitted). Item also includes installation of 4 Oz. Non-Woven Geotextile on subgrade. Complete in Place (Provide shop drawing with bid of field line layout and colors)	78,000	SF	\$ 7.90	\$ 616,200.00
7	6" by 12" Concrete Perimeter Curb	1,200	LF	\$ 54.00	\$ 64,800.00
8	12" Perforated HDPE Underdrain , including all fittings (Connection to main storm system from field)	0	LF	No Bid	
9	8" Perforated HDPE Underdrain , including all fittings	900	LF	\$ 14.00	\$ 12,600.00
10	4" Perforated HDPE Underdrain , including all fittings	2,700	LF	\$ 8.80	\$ 23,760.00
11	Synthetic Turf Groomer (Provide shop drawing with bid for review and approval)	1	EA	\$ 5,000.00	\$ 5,000.00
Base Bid Subtotal					\$881,160.00
ALTERNATE NO. 1 - TURF					
A-1	Provide and Install 52 oz Synthetic Turf in stead of 42OZ. Complete in Place, this item is the cost increase to change fabric from 42oz to 52 oz product in item 6 above ((Provide shop drawing with bid of field line layout and colors)	78,000	SF	\$ 0.54	\$ 42,120.00
Alternate No. 1 Turf Subtotal					\$42,120.00
ADD/DEDUCT NO. 2 - ALTERNATIVE UNDERDRAIN SYSTEM					
A-2	Cost Difference to install alternative 4" Perforated Underdrain System in lieu of Item 10. Provide detail of alternate underdrain system with bid.	2,700	LF	\$ (3.20)	\$ (8,640.00)
Add/Deduct No. 2 Turf Subtotal					-\$8,640.00
ADD/DEDUCT NO. 3 - ALTERNATIVE REMOVE AND DISPOSE OF ALL TOPSOIL					
A-3	Cost to remove and Dispose of Topsoil from Site- 8" Depth	2	AC	\$ 21,000.00	\$ 42,000.00
Add/Deduct No. 3 Topsoil Removal Subtotal					\$42,000.00

BO 14

ATTENDANCE

PROPOSED LEGEND

- 1" CONC. LINE
- 6" CONC. CURB
- 12" CONC. BITUM. WOOD CURB
- 8" CONCRETE CURB
- SOI
- ASPHLT. SURFACE (BY OTHERS)
- ASPHLT. MILLING TRAIL
- STAINED SOL. (BY OTHERS)



- SITE NOTES:**
1. VERIFY THE EXISTING SITE CONDITIONS AND ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND UTILITIES COMPANIES.
 2. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL GOVERNMENT AND UTILITIES COMPANIES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC AREAS AT ALL TIMES. ANY OBSTRUCTIONS SHALL BE REMOVED IMMEDIATELY UPON REQUEST.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 5. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES. ALL WORKERS SHALL BE PROVIDED WITH NECESSARY SAFETY EQUIPMENT AND TRAINING.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL EXISTING TREES AND LANDSCAPE. ANY REMOVAL SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL EXISTING CURBS AND PAVEMENT. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL EXISTING TREES AND LANDSCAPE. ANY REMOVAL SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL EXISTING CURBS AND PAVEMENT. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

CALL BEFORE YOU DIG
 811
 CALL 811
 FOR ALL UTILITY LOCATIONS
 BEFORE ANY EXCAVATION WORK

No.	Description	No.	Date	Description

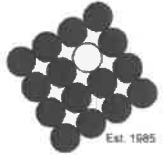
LSSE
 Landscape Site Services
 1000 ...
 ...

Castle Shannon Borough
 310 ...
 ...

Lower Hamilton Park
 Corner No. 23 ...
 ...

Add Alternate No. 3 Limits

BO 15



LSSE

Civil Engineers and Surveyors

HEADQUARTERS IN CORAOPOLIS, PENNSYLVANIA

MANAGING PRINCIPALS

Kevin A. Brett, P.E.
Ned Mitrovich, P.E.
Jason E. Stanton, P.E.

May 5, 2023

S. O. No. 253-108

VIA EMAIL ONLY
(kstringent@csboro.org)

Ms. Katie Stringent, Borough Manager
Castle Shannon Borough
3310 McRoberts Road
Castle Shannon, Pennsylvania 15234

Subject: Request for COSTARS Proposal
Contract No. 23-PK5
Lower Hamilton Park – Field Lighting

Dear Ms. Stringent:

LSSE has completed a review of the proposals received in response to the Request for Proposal for the construction of turn-key lighting for Lower and Rear Hamilton. Two proposals were received (copy of each attached) and are summarized below.

Contractor	Bid Amount
Keystone Sports Construction	\$625,353.00*
Qualite Sports Lighting, LLC	\$627,233.00**

*Rounded value.

**Early payment discount is not included in total.

As presented above, Keystone Sports Construction is the apparent low bidder. The work proposed is eligible through procurement through COSTARS Vendor Contract No. 014-E23-312.

It should be noted that Keystone Sports Construction proposal provides for a higher footcandle average for the parking areas and includes prevailing wage rates. Qualite Sports Lighting, LLC's proposal does not clearly identify if prevailing wage rates are included within proposal referencing "Fair Labor Rates".

BO He

OFFICES IN: Allegheny, Beaver, Erie and Westmoreland Counties Pennsylvania; Franklin County, Ohio

846 Fourth Avenue
Coraopolis, PA 15108
(412) 264-4400
Fax: (412) 264-1200

150 Pleasant Drive, Suite 204
Aliquippa, PA 15001
(412) 264-4400
Fax: (412) 264-1200

10560 Walnut Street
Albion, PA 16401
(814) 756-4384
Fax: (814) 756-5638

4534 Route 136, Suite 9
Greensburg, PA 15601
(724) 837-1057
Fax: (412) 264-1200

5980 Wilcox Place, Suite J
Dublin, OH 43016
(614) 395-1661

Ms. Katie Stringent, Borough Manager
Castle Shannon Borough
May 5, 2023
Page 2

Additionally, Qualite Sports Lighting, LLC's proposal does not appear to consider of removal of rock for foundations even though in-situ boring logs from the Borough's Geotechnical consultant were provided.

If acceptable to the Borough, the next step is for the Borough to issue a notice of intent of award in the amount of up to \$625,353.00 to Keystone Sports Construction. The vendor will then initiate the formal Contract procurement process via COSTARS that will include contract, shop drawings and warranty information for execution by the Borough.

Should you have any questions, please contact Joshua R. Callender, E.I.T. directly (Ext. 284).

Sincerely,



Jason E. Stanton, P.E.

JES/als

Attachments

cc/att: Dennis Biondo, Solicitor (drbiondo@aol.com)

BO 17

Turf Field - Lighting Proposal

DATE OF PROPOSAL: April 28, 2023

#964158

PREPARED FOR: Castle Shannon Borough
Katie Stringent
3310 McRoberts Rd,
Castle Shannon, PA 15234

PREPARED BY: Keystone Sports Construction
Christopher W. Wright, Managing Member
1100 Schell Ln, Suite 104
Phoenixville, PA 19460

PROJECT ADDRESS: Hamilton Park, Castle Shannon Borough

Keystone Sports Construction is pleased to present the following proposal. This offer includes the install of new lighting system for Castle Shannon Borough Hamilton Park. The proposal has been prepared based on discounted Costars pricing rates. Costars provides predetermined preferential pricing through approved vendors. Since this contract has already been bid at the state level, individual schools do not have to duplicate the bidding process per Costars contract # (COSTARS-14-E23-312) and per the plans and specifications provided by Kevin Brett. All pricing herein is based on **prevailing wage rates**.

WHEREAS, Castle Shannon Borough (hereinafter "OWNER") wishes to have Musco's All Sports Fields Light System installed at one (1) recreational sports facility generally in keeping with the Scope of Work described herein, and as otherwise may be agreed upon in writing by the parties hereto;

AND WHEREAS, OWNER intends to retain the services of Keystone Sports Construction (hereinafter "KEYSTONE"), to install the recreational stadium lighting as described herein;

THEREFORE, in consideration for the payment of the total purchase price of:

(Next Page)

3018

BASE SCOPE OF WORK			
Item	Description	Quantity	Units
A Lighting			
1	Musco All Sports Fields Lighting 30fc option	1	LS
2	Install foundations per Musco preliminary foundation and pole assembly drawing dated 4/20/23	11	EA
3	Assemble (2) 40', (4) 50', (2) 70' & (3) 80' Musco poles with crossarms, fixtures, wire harnesses and driver boxes	11	EA
4	Set and align poles	1	LS
5	Ground sports poles with grounding system	1	LS
6	Install Musco contactor cabinet beside existing(installed by others) 400 amp 480 volt 3 phase breaker panel	1	LS
7	Supply and install Schedule 40 PVC conduits from the Musco LCC out to all Musco poles	1	LS
8	Supply and install new THHN/THWN Cu wire from existing 400 amp 480 volt 3 phase breaker panel through the Musco LCC and out to all Musco poles	1	LS
9	Install pushbutton control boxes for tennis, basketball, and comhole/horseshoe including conduit and wire from Musco LCC	1	LS
10	Project Management	1	LS
Total Lighting Cost			\$ 625,312.78

SCOPE OF WORK

KEYSTONE hereby agrees to supply site preparation and install of Stadium lighting, manufactured by Musco as required, at the worksites (hereinafter “Project Site Location”), generally in accordance and as further described within the “Scope of Work” set out below and otherwise in keeping with the terms and conditions of this Supply & Installation proposal, the parties hereto agree as follows;

1) Schedule:

- a) Commencement Date: TBD
- b) Completion Date: TBD

2) Demobilization & Post-Completion:

- a) Inspection/punch list/closeout of Project Site Location with OWNER.
- b) Perform site clean-up inclusive of removal of waste materials and deposit in a dumpster or other receptacle supplied by KEYSTONE.
- c) Demobilize equipment and labor.

3) Extras:

- a) Any materials and/or services not expressly included in this Scope of Work are not included within the Proposal price and, if requested to be supplied or performed by OWNER in writing, and agreed to by KEYSTONE, shall be deemed an extra to this

B019

Supply and Installation Proposal. Said additional materials and/or services shall be supplied and/or performed at a cost to be agreed by the parties hereto in writing.

4) Exclusions:

KEYSTONE has NOT INCLUDED the following items in the Scope of Work and are therefore not reflected in the contract price:

- a) Any item not included within the Scope of Work herein
- b) Mobilization and demobilization in greater occurrence than the one (1) mobilization anticipated
- c) Engineering and/or design fees
- d) Survey and layout work beyond the work required to ensure compliance with the installation.
- e) Liquidated damages
- f) Permits, fees, licenses
- g) Rock excavation/rock drilling, removal, and disposal
- h) Unsuitable soils
- i) Lime, lime slurry and cement stabilized sub-grade treatments
- j) Site security
- k) Underground, multi-chamber, extended detention, sand filters, and level spreader systems are excluded.
- l) Contaminated soil removal (we assume soils are DEP environmentally clean for export).
- m) Any scope of work other than Lighting System from previously installed by others 400 amp panel.

5) Additional Notes:

- a) Foundation design assumed at the time of bid and is per the drawing by Musco dated 4/20/23 and attached as part of this contract.
- b) Existing 400 amp panel with proper breakers for Musco system not included and will be installed by others prior to start of this work.
- c) Unistrut not included and to be installed by others. Unistrut should be capable of housing Musco equipment.

BO 20

6) **Special Conditions:**

- a) **INFORMATION AND RESPONSE:** OWNER will promptly respond to all KEYSTONE reasonable requests for information, and in so doing, provide KEYSTONE with complete disclosure to ensure project continuity and minimize delays.
- b) **ACCESS:** Once the work commences, KEYSTONE is to have full, direct, and easy access and right of way to the Project Site Location. It is hereby acknowledged and agreed that KEYSTONE is not responsible for any damage as a result of moving men and equipment through any point of entry or access to or from the Project Site Location. OWNER is responsible for providing clear, stable, appropriate, and safe access to and from the Project Site Location. A staging area will be made available by the OWNER to KEYSTONE within reasonable proximity to the Project Site Location.
- c) **UNDERGROUND SERVICES OR OBSTRUCTIONS:** OWNER will be solely responsible for all costs associated with removal/relocation of any above ground or underground obstructions such as hazardous materials or any unidentified substances, utilities or services (except those utilities identified by KEYSTONE /OWNER), which will impede or hinder the performance of the Scope of Work or access to the Project Site Location.
- d) **LIGHTING, ELECTRICITY & FACILITIES:** Existing lighting (if required), use of existing permanent electrical power, facility restrooms, and access are to be provided and maintained by OWNER for KEYSTONE use during its performance of the Scope of Work at the Project Site Location. All such utilities or facilities will be supplied at no cost to KEYSTONE and will not be the subject of credit or chargeback to this Supply and Installation Contract.
- e) **UNION LABOR:** OWNER acknowledges and understands that KEYSTONE is an 'open or merit shop' and, as such, is a non-unionized company. Further, OWNER acknowledges and understands that KEYSTONE has determined and agreed to the Contract Price based on this premise. In the event KEYSTONE'S ability to perform its Scope of Work or access to the Project Site Location is impeded by union activity and KEYSTONE is reasonably required to utilize union labor or pay union wage rates to complete the Project or any aspect of it, such additional labor costs incurred by KEYSTONE, if any, shall be at the expense of OWNER and will be deemed to be an approved extra to the contract price. KEYSTONE to follow the Department of Labor requirements.
- f) **DELIVERY:** Any materials, including without limitation, stadium lighting rolls, infill, materials, tools, equipment or other sundry items delivered to OWNER by KEYSTONE before the Commencement Date shall be deemed to be under KEYSTONE care, custody,

BO 21

and control, and as such, KEYSTONE is at full risk regarding material quantity reconciliation and the replacement of lost or stolen materials. All materials, including without limitation, stadium lighting rolls, infill, materials, tools, equipment, or other sundry items so delivered by KEYSTONE, shall remain the property of KEYSTONE pending completion of the Scope of Work and payment in full of the contract price. KEYSTONE agrees to name the OWNER as additional insured and maintain liability limits of \$1,000,000 (one million dollars) per occurrence.

- g) **PROPOSAL PRICING:** The Scope of Work and Proposal Pricing herein are valid for a period of Thirty (30) calendar days from the date of this proposal. The price is subject to increase if affected by an increase in freight, raw materials, taxes, levies, or any new legally binding imposition affecting the transaction. Negotiations continuing beyond the date and time of expiration shall require the submittal of a separate proposal, at the discretion of Keystone Sports Construction.
- h) **PAYMENT TERMS:**
- DRAW #1 - 50% of the total contract price and full bonding costs due upon signing
 - DRAW #2 - 25% upon mobilization.
 - DRAW #3 - 25% (remainder/balance) due upon completion.
- i) **ADVERSE WEATHER DELAY:** shall be quantified, recorded, and qualified for any monthly total exceeding normal weather occurrences as recorded by on-site weather data station or closest NOAA Weather Station. Adverse Weather Delays are considered for any weather event that deviates from the normal duration, rate, frequency, or other normal as recorded by historical weather data services. Adverse Weather Delays are considered for any 24-hour period that receives greater than 0.1 inch precipitation or when low temperatures are 32° Fahrenheit or below. Delays in excess of normal occurrences shall be submitted for approval, and any costs associated with the delay shall be submitted for inclusion in the contract by change order. The date of substantial completion shall be adjusted accordingly and based upon the approval of the submitted delay request.
- j) **ACCESS AND EGRESS:** Removal/repair to existing asphalt walks/drives/roads/parking lots. –Damage caused to property by KEYSTONE outside the access and egress areas and normal work area will be repaired in a proper manner by KEYSTONE. KEYSTONE to provide a Dropbox folder of the entire project start to finish. Walks or drives that are currently damaged or risk compromise or damage are not covered by KEYSTONE. Damage to Access and egress to and from the work area for construction is the responsibility of the owner.

BO 22



k) CONSTRUCTION CONTINGENCY: It is advised that the OWNER maintains a contingency account throughout the term of the contract. This account should contain liquid funds equal to 10% of the Contract Sum.

l) CONFIDENTIALITY: This proposal contains the confidential and proprietary work product of KEYSTONE SPORTS CONSTRUCTION and should not be shared by you with any third parties other than representatives or advisers retained by OWNER regarding the subject project.

KEYSTONE SPORTS CONSTRUCTION

Signature: _____

Printed Name: _____

Title: _____

Date: _____

OWNER

Signature: _____

Signature for Bonding: _____

If the above line is not signed, we will not order a payment and performance bond for this project.

Printed Name: _____

Title: _____

Date: _____

B023

PRELIMINARY FOUNDATION AND POLE ASSEMBLY DRAWING

TABLE 1: POLE ASSEMBLY

POLE ID	POLE HEIGHT ft (m)	# OF LUMINAIRES	ASSEMBLED POLE WEIGHT ¹ lb (kg)
A1	80 (24.4)	5	1817 (824)
A2	80 (24.4)	6	1817 (824)
B1	80 (24.4)	10	3641 (1652)
B2	80 (24.4)	11	3666 (1664)
BB1	40 (12.2)	3	578 (262)
BB2	40 (12.2)	3	578 (262)
C1	70 (21.3)	11	3491 (1584)
T1	50 (15.2)	2	691 (308)
T2	50 (15.2)	2	691 (308)
T3	60 (18.2)	2	691 (308)
T4	60 (18.2)	2	691 (308)

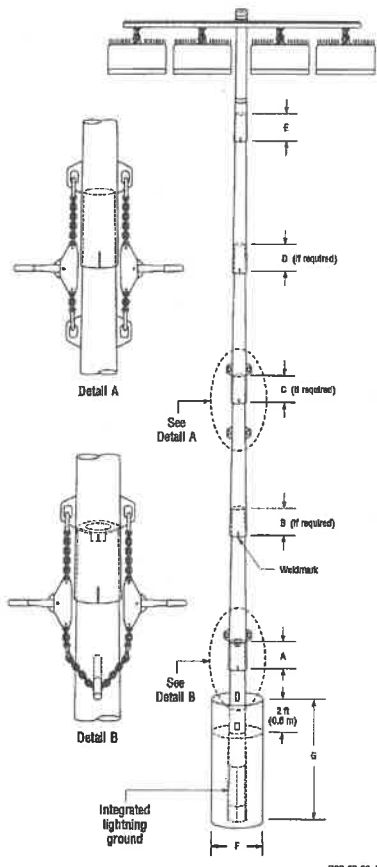
- Pole Assembly Notes:**
1. Steel pole should overlap concrete base and be erected tight with 1 1/2 ton cone-sleege (contractor provided).
 2. Align weldmarks on steel sections before assembling.
 3. Assembled pole weight includes steel sections, crossarms, hangers, and electrical components enclosure.
 4. Section overlap must be pulled together until tight. Overlap measurement should be +/- 5 in (127 mm).
 5. This document is not intended for use as an assembly instruction. See manufacturer instructions: Light-Structure System™ Lighting System for complete assembly procedure.

TABLE 2: FOUNDATION DETAILS

POLE ID	CONCRETE BASE WEIGHT lb (kg)	F ft (mm)	G ft (m)	BURIAL INFORMATION ^{1,4} CONCRETE BACKFILL ² y ³ (m ³)	CUT RAISE	LIGHTNING GROUND ³ TYPE	SUPPLEMENTAL INSTRUCTION
A1	2790 (1261)	30 (782)	12 (3.7)	1.5 (1.1)	NO	INTEGRATED ⁵	N/A
A2	2790 (1261)	30 (782)	12 (3.7)	1.5 (1.1)	NO	INTEGRATED ⁵	N/A
B1	5300 (2404)	30 (782)	18 (4.9)	1.8 (1.2)	NO	INTEGRATED ⁵	N/A
B2	5300 (2404)	30 (782)	18 (4.9)	1.8 (1.2)	NO	INTEGRATED ⁵	N/A
BB1	1090 (494)	30 (782)	8 (2.4)	1.0 (0.7)	NO	INTEGRATED ⁵	N/A
BB2	1090 (494)	30 (782)	8 (2.4)	1.0 (0.7)	NO	INTEGRATED ⁵	N/A
C1	5250 (2381)	30 (782)	18 (4.9)	1.8 (1.2)	NO	INTEGRATED ⁵	N/A
T1	1110 (503)	30 (782)	8 (2.4)	1.0 (0.7)	NO	INTEGRATED ⁵	N/A
T2	1110 (503)	30 (782)	8 (2.4)	1.0 (0.7)	NO	INTEGRATED ⁵	N/A
T3	1110 (503)	30 (782)	8 (2.4)	1.0 (0.7)	NO	INTEGRATED ⁵	N/A
T4	1110 (503)	30 (782)	8 (2.4)	1.0 (0.7)	NO	INTEGRATED ⁵	N/A

Foundation Notes:

1. Concrete backfill is calculated to 2 ft (0.6m) below grade (no coverage included). Top 2 ft (0.6m) to be class 5 and compacted to 95% density of surrounding undisturbed soil unless otherwise specified in stamped structural design.
2. Concrete backfill required 3000 psi (20 MPa) minimum.
3. Foundation design per 2018 ISC, 115 mph, exposure category C, vibration STD (Peak Category II).
4. Assumes IRC class 5 soil.
5. Standard bases include integrated lightning protection. If bases are cut, supplemental lightning protection is required. Contact Musco for materials and instruction.
6. Lightning protection is a manufacturer installed concrete encased electrode and connector. Ground connection is made when concrete base is finished and footing is poured. No additional steps required.



Castle Blowers Hamilton Park Sports Fields - Castle Blowers, PA, USA

Date: 06/27/2023 Scale: 1/4" = 1'-0"

Rev: Revision Drawn: Page: 1 of 1

Project: 218271 Preliminary

BO 24



Control System Summary

Project Information

Project Specific Notes:
(3) Push Button strobes: Tennis, Basketball, Cornhole/Horseshoe

Project #: 210371
 Project Name: Castle Shannon Hamilton Park Sports Fields
 Date: 04/25/23
 Project Engineer: Tye Burch
 Sales Representative: Brandon Grunder
 Control System Type: Control-Link™ Control and Monitoring System
 Communication Type: PowerLine-ST
 Scan: 210371D
 Document ID: 210371P1V5-0425162712
 Distribution Panel Location or ID: Service
 Total # of Distribution Panel Locations for Project: 1
 Design Voltage/Hertz/Phase: 480/60/3
 Control Voltage: 120

Equipment Listing

DESCRIPTION	APPROXIMATE SIZE
1. Control and Monitoring Cabinet	24 X 72

DESCRIPTION	QTY	SIZE (AMPS)
Total Contactors	9	30 AMP
Total Off/On/Auto Switches:	5	

Preliminary Estimate
 Confirm all Details - voltage, # of distribution panels, etc.

Materials Checklist

Contractor/Customer Supplied:

- A dedicated control circuit must be supplied per distribution panel location
 - If the control voltage is NOT available, a control transformer is required
- Electrical distribution panel to provide overcurrent protection for circuits
 - HID rated or D-curve circuit breaker sized per full load amps on Circuit Summary by Zone Chart
- Wiring
 - See chart on page 2 for wiring requirements
 - Equipment grounding conductor and splices must be insulated (per circuit)
 - Lightning ground protection (per pole), if not Musco supplied
- Electrical conduit wireway system
 - Entrance hubs rated NEMA 4, must be die-cast zinc, PVC, or copper-free die-cast aluminum
- Mounting hardware for cabinets
- Breaker lock-on device to prevent unauthorized power interruption to control power and powerline connection (if present)
- Anti-corrosion compound to apply to ends of wire, if necessary

Call Control-Link Central™ operations center at 877/347-3319 to schedule activation of the control system upon completion of the installation.

Note: Activation may take up to 1 1/2 hours.

IMPORTANT NOTES

1. Please confirm that the design voltage listed above is accurate for this facility. Design voltage/phase is defined as the voltage/phase being connected and utilized at each lighting pole's electrical components enclosure disconnect. Inaccurate design voltage/phase can result in additional costs and delays. Contact your Musco sales representative to confirm this item.
2. In a 3 phase design, all 3 phases are to be run to each pole. When a 3 phase design is used Musco's single phase luminaires come pre-wired to utilize all 3 phases across the entire facility.
3. One contactor is required for each pole. When a pole has multiple circuits, one contactor is required for each circuit. All contactors are 100% rated for the published continuous load. All contactors are 3 pole.
4. If the lighting system will be fed from more than one distribution location, additional equipment may be required. Contact your Musco sales representative.
5. A single control circuit must be supplied per control system.
6. Size overcurrent devices using the full load amps column of the Circuit Summary By Zone chart- Minimum power factor is 0.9.

NOTE: Refer to Installation Instructions for more details on equipment information and the installation requirements.

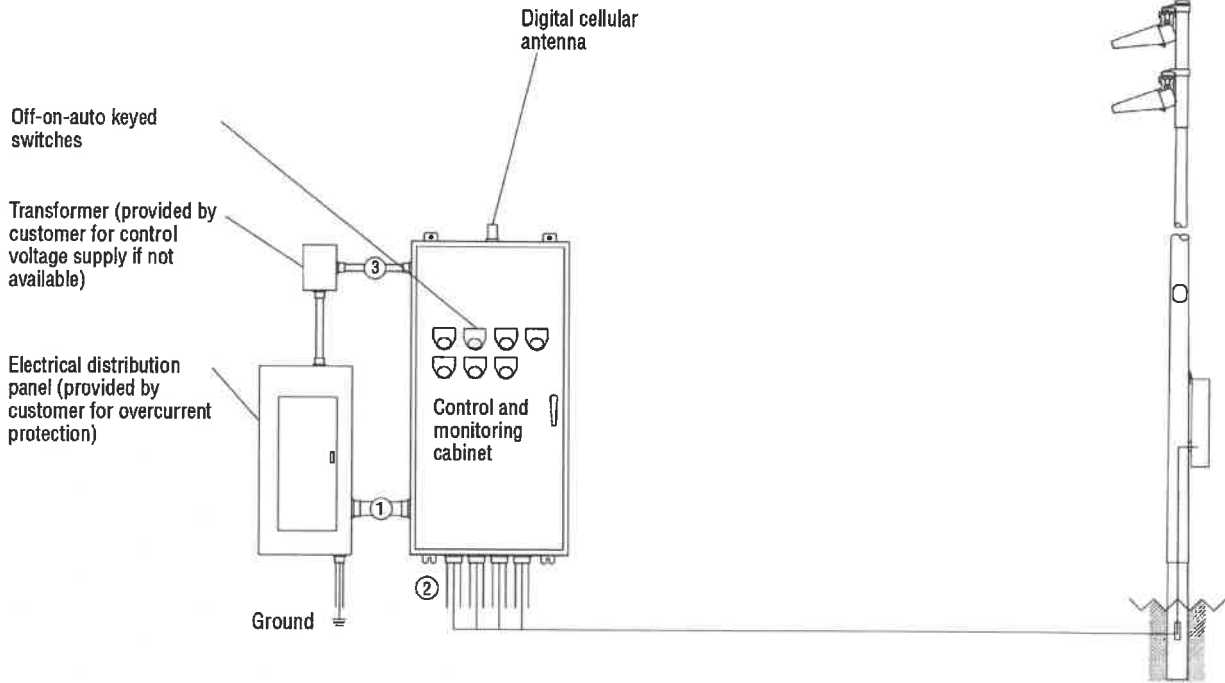
BO 25



Control System Summary

Castle Shannon Hamilton Park Sports Fields / 210371 - 210371D
Service - Page 2 of 4

Control-Link. Control and Monitoring System



Conduit ID	Description	# of Wires	Wire (AWG)	Conduit (in)	Max. Wire Length (ft)	MUSCO Supplied	Notes
1	Line power to contactors, and equipment grounding conductor	*A	*B	*C	N/A	No	A-E
2	Load power to lighting circuits, and equipment grounding conductor	*A	*B	*C	N/A	No	A-E
3	Control power (dedicated, 20A)	3	12	*C	N/A	No	C,E

*** Notes:**

- A. See voltage and phasing per the notes on cover page.
- B. Calculate per load and voltage drop.
- C. All conduit diameters should be per code unless otherwise specified to allow for connector size.
- D. Equipment grounding conductor and any splices must be insulated.
- E. Refer to control and monitoring system installation instructions for more details on equipment information and the installation requirements.

R60-100-00_B

IMPORTANT: Control wires (3) must be in separate conduit from line and load power wires (1, 2).

BO 26



Control System Summary

Castle Shannon Hamilton Park Sports Fields / 210371 - 210371D
Service - Page 3 of 4

SWITCHING SCHEDULE

Field/Zone Description	Zones
Baseball/Multipurpose	1
Pickleball/Tennis	2
Cornhole/Horseshoe	3
Basketball	4
Auxillary	5

CONTROL POWER CONSUMPTION	
120V Single Phase	
VA loading of Musco Supplied Equipment	INRUSH: 2205.0
	SEALED: 234.0

CIRCUIT SUMMARY BY ZONE

POLE	CIRCUIT DESCRIPTION	# OF FIXTURES	# OF DRIVERS	*FULL LOAD AMPS	CONTACTOR SIZE (AMPS)	CONTACTOR ID	ZONE
A1	Baseball/Multipurpose	5	5	8.4	30	C1	1
A2	Baseball/Multipurpose	5	5	9.1	30	C2	1
B1	Baseball/Multipurpose	9	9	14.8	30	C3	1
B2	Baseball/Multipurpose	7	7	13.8	30	C4	1
C1	Baseball/Multipurpose	7	7	11.7	30	C5	1
T1, T2, T3, T4	Pickleball/Tennis	8	8	7.2	30	C6	2
B2	Cornhole/Horseshoe	2	2	2.4	30	C7	3
BB1, BB2	Basketball	6	4	4.3	30	C8	4
A1, A2, B1, B2, C1, T1, T4	Auxillary	12	12	9.6	30	C9	5

*Full Load Amps based on amps per driver.

B027



Control System Summary

Castle Shannon Hamilton Park Sports Fields / 210371 - 210371D
Service - Page 4 of 4

PANEL SUMMARY						
CABINET #	CONTROL MODULE LOCATION	CONTACTOR ID	CIRCUIT DESCRIPTION	FULL LOAD AMPS	DISTRIBUTION PANEL ID (BY OTHERS)	CIRCUIT BREAKER POSITION (BY OTHERS)
1	1	C1	Pole A1	8.41		
1	1	C2	Pole A2	9.05		
1	1	C3	Pole B1	14.79		
1	1	C4	Pole B2	13.83		
1	1	C5	Pole C1	11.65		
1	1	C6	Pole T1,T2,T3,T4	7.22		
1	1	C7	Pole B2	2.41		
1	1	C8	Pole BB1, BB2	4.33		
1	1	C9	Pole A1,A2,B1,B2,C1,T1,T4	9.63		

ZONE SCHEDULE				
ZONE	SELECTOR SWITCH	ZONE DESCRIPTION	CIRCUIT DESCRIPTION	
			POLE ID	CONTACTOR ID
Zone 1	1	Baseball/Multipurpose	A1	C1
			A2	C2
			B1	C3
			B2	C4
			C1	C5
Zone 2	2	Pickleball/Tennis	T1	C6
			T2	C6
			T3	C6
			T4	C6
Zone 3	3	Cornhole/Horseshoe	B2	C7
Zone 4	4	Basketball	BB1	C8
			BB2	C8
Zone 5	5	Auxillary	A1	C9
			A2	C9
			B1	C9
			B2	C9
			C1	C9
			T1	C9
T4	C9			

BO 28

Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

Lighting System

Field / Fixture Summary	Field ID	Field Height	Mount Height	Fixture Qty	Luminaire Type	Load	Circuit
A1-A2	80'	80'	3	TLC-LED-1200	5.51 kW	B	
			1	TLC-LED-550	0.36 kW	F	
			1	TLC-LED-900	0.88 kW	B	
B1	70'	70'	6	TLC-BT-575	0.58 kW	B	
			1	TLC-LED-1200	7.62 kW	B	
			1	TLC-LED-1500	1.41 kW	B	
			2	TLC-LED-550	1.08 kW	F	
B2	80'	80'	2	TLC-BT-575	1.15 kW	B	
			5	TLC-LED-1500	7.05 kW	B	
			2	TLC-LED-550	1.08 kW	F	
BB1-BB2	40'	40'	2	TLC-BT-575	1.15 kW	B	
			2	TLC-LED-550	1.08 kW	D	
			3	TLC-LED-400	1.20 kW	E	
C1	70'	70'	5	TLC-LED-1200	5.65 kW	B	
			3	TLC-LED-550	1.62 kW	F	
			2	TLC-BT-575	1.15 kW	B	
T1	50'	50'	2	TLC-LED-550	1.08 kW	C	
			1	TLC-LED-550	0.54 kW	F	
T2-T3	50'	50'	2	TLC-LED-550	1.08 kW	C	
T4	50'	50'	2	TLC-LED-550	1.08 kW	F	
			2	TLC-LED-550	1.08 kW	C	
T1			61		48.89 kW		

Circuit Summary	Installation	Load	Fixture Qty
B	Baseball/Multipurpose	54.71 kW	33
C	Tennis/Pickleball	4.32 kW	8
D	Cornhole/Forsythie	1.08 kW	2
E	Basketball	2.4 kW	6
F	Auxiliary	6.48 kW	12

Fixture Type Summary	Type	Fixture	Wattage	Lumens	LM	LM	LM	Quantity
TLC-LED-550	LED	1700K - 75 CRI	540W	87,000	>120,000	>120,000	>120,000	22
TLC-LED-400	LED	5700K - 75 CRI	400W	46,500	>130,000	>120,000	>120,000	8
TLC-LED-1200	LED	5700K - 75 CRI	1170W	156,000	>120,000	>120,000	>120,000	17
TLC-BT-575	LED	5700K - 75 CRI	570W	52,000	>120,000	>120,000	>120,000	8
TLC-LED-1500	LED	5700K - 75 CRI	1410W	181,000	>120,000	>120,000	>120,000	6
TLC-LED-900	LED	5700K - 75 CRI	880W	104,000	>120,000	>120,000	>120,000	2

Single Luminaire Amperage Draw Chart	Driver (90 min power factor)		Max Line Amperage Per Luminaire			
Single Phase Voltage	208 (80)	230 (86)	240 (90)	277 (99)	347 (126)	380 (138)
TLC-LED-550	3.2	3.0	2.8	2.4	1.9	1.4
TLC-LED-400	2.3	2.2	2.0	1.7	1.4	1.0
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.0
TLC-BT-575	3.4	3.2	2.9	2.6	2.0	1.5
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	3.6
TLC-LED-900	5.2	4.9	4.5	3.9	3.1	2.3

From Hometown to Professional



ENGINEERED DESIGN By: Tye Burch - File #210371.D - 25-Apr-23



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, L.L.C. ©1981, 2023 Musco Sports Lighting, L.L.C.

PROJECT SUMMARY

BO 29

Castle Shannon Hamilton Park Sports Fields

Castle Shannon, PA

Light Level Summary

Calculation Quick Summary								
Old Name	Calculation Metric	Illuminance					Circuits	Fixture Qty
		Avg	Min	Max	Min/Max	Avg/Min		
Apartment Eval	Max Candela Metric	448	5.54	1080	202.19	83.97	A, B, C, D, E, F, G	61
Baseball (Infield)	Horizontal Illuminance	51.1	36	61	1.70	1.42	A, B	33
Baseball (Outfield)	Horizontal Illuminance	37.3	25	45	1.80	1.46	A, B	33
Basketball	Horizontal Illuminance	32.5	23	42	1.78	1.41	E	6
Cornhole/Horseshoe	Horizontal Illuminance	2.61	0	5	12.38		D	2
House Eval	Max Candela Metric	58065	43700	74960	1.72	1.33	A, B, C, D, E, F, G	61
Multipurpose	Horizontal Illuminance	48.8	27	61	2.23	1.51	B	33
Parking	Horizontal	4.74	1	12	18.62	4.74	F	12
Pickleball	Horizontal Illuminance	31.3	25	39	1.57	1.28	C	8
Property Line Spill (Cd)	Max Candela (by Fixture)	62487	3121	250894	80.38	20.02	A, B, C, D, E, F, G	61
Property Line Spill	Horizontal Illuminance	3.39	0.26	14.9	58.01	13.02	A, B, C, D, E, F, G	61
Property Line Spill	Max Vertical Illuminance Metric	5.35	0.71	21.5	38.16	7.53	A, B, C, D, E, F, G	61
Tennis	Horizontal Illuminance	34.5	25	41	1.59	1.33	C	8
Walking Path	Horizontal Illuminance	4.96	0	9.53	0.90		F	12
Walking Track	Horizontal	2.88	0	14	0.90		F	12

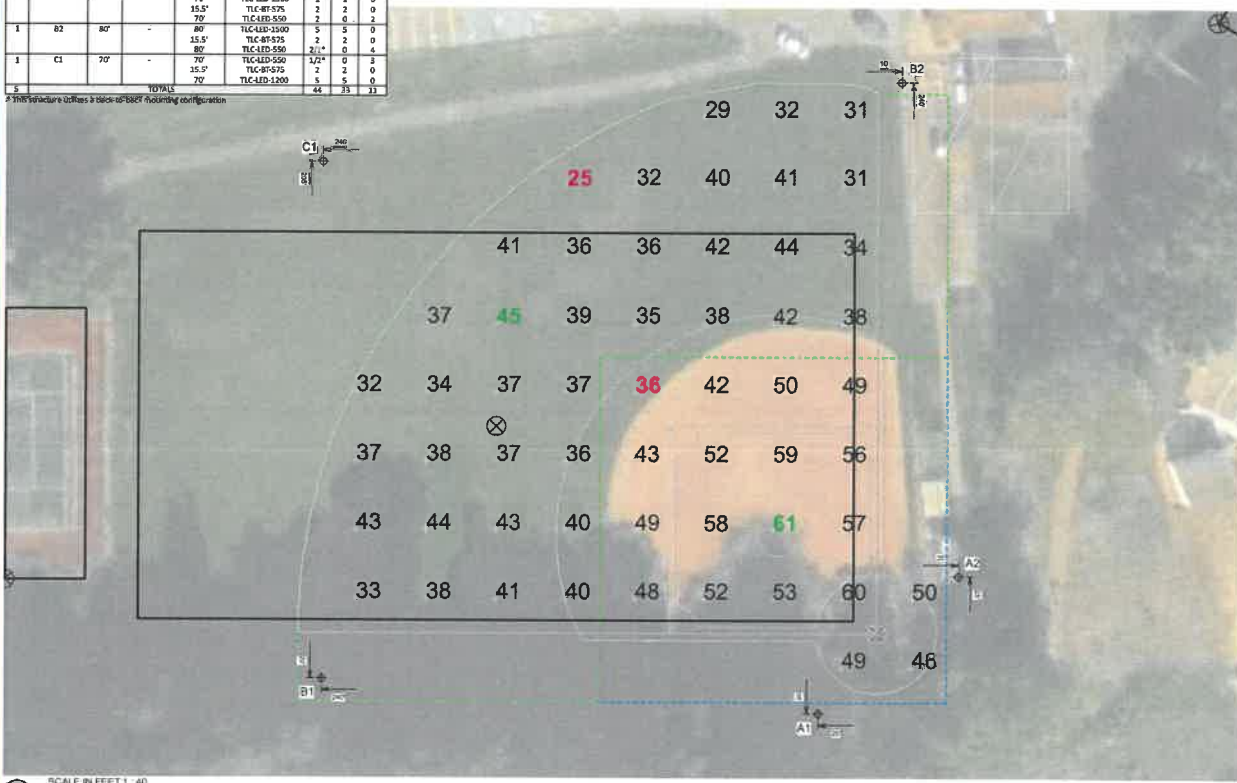
From Hometown to Professional



BO 30

EQUIPMENT LIST FOR AREAS SHOWN									
QTY	LOCATION	SIZE	WAVELENGTH	BEAM DIAMETER	FOOT COUNDS	TYPE	QTY	TIME	OTHER
2	A1-A2	80'			TLC LED-500	1	0	1	
		80'			TLC LED-900	1	1	0	
		15.5'			TLC-87575	1	1	0	
		80'			TLC LED-1200	3	3	0	
1	B1	70'			TLC LED-1200	6	6	0	
		70'			TLC LED-1500	1	1	0	
		15.5'			TLC-87575	2	2	0	
		70'			TLC LED-550	2	0	2	
1	B2	80'			TLC LED-1500	5	5	0	
		15.5'			TLC-87575	2	2	0	
		80'			TLC LED-550	2	0	4	
1	C1	70'			TLC LED-550	1/2"	0	3	
		15.5'			TLC-87575	2	2	0	
		70'			TLC LED-1200	5	5	0	
TOTALS						44	33	33	

* This structure utilizes a back-to-back mounting configuration.



Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

GRID SUMMARY	
Name:	Baseball
Size:	Irregular 250' / 250' / 235'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY		
MAINTAINED HORIZONTAL FOOTCANDES		
	Infield	Outfield
Guaranteed Average:	50	30
Scan Average:	51.11	37.26
Maximum:	61	45
Minimum:	36	25
Avg / Min:	1.42	1.49
Guaranteed Max / Min:	2	1.5
Max / Min:	1.70	1.80
UG (adjacent pts):	1.25	1.45
CU:	0.49	
No. of Points:	19	37

UNIFORM INFORMATION:
Applied Circuits: A, B
No. of Luminaires: 33
Total Load: 34.71 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.
Field Measurements: individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA IFA-15.
Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical ratings.
Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (3m) of design locations.

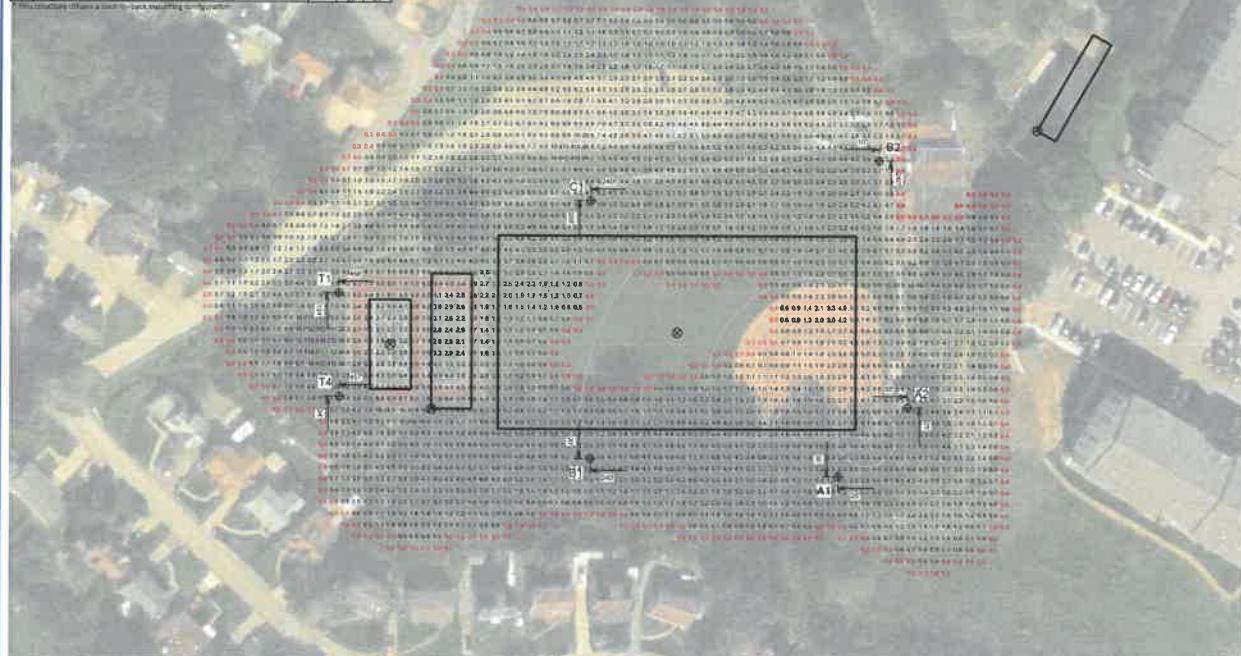


Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1981, 2020 Musco Sports Lighting, LLC

ILLUMINATION SUMMARY

B031

EQUIPMENT LIST FOR AREAS SHOWN									
QTY	LOCATION	Pole	SIZE	HANCE ELEVATION	LUMINAIRIES				
					MANUFACTURER	TYPE	WATT	WATT	WATT
2	A3	80'	80'	-	TIC-LED-550	1	0	0	0
				15.5'	TIC-LED-900	1	0	1	
				80'	TIC-LED-1200	3	0	0	
1	B1	70'	70'	-	TIC-LED-1200	6	0	6	
				15.5'	TIC-LED-1500	1	0	1	
				70'	TIC-LED-550	2	0	2	
1	B2	80'	80'	-	TIC-LED-1500	5	0	5	
				15.5'	TIC-LED-550	2	0	2	
				80'	TIC-LED-550	2	0	2	
1	C1	70'	70'	-	TIC-LED-550	1/2	0	0	
				15.5'	TIC-LED-550	2	0	2	
				70'	TIC-LED-1200	5	0	5	
1	Y1	50'	50'	-	TIC-LED-550	3	0	3	
1	Y4	50'	50'	-	TIC-LED-550	4	2	2	
TOTALS						51	32	83	



GRID SUMMARY	
Name:	Walking Track
Size:	Irregular 250' / 250' / 235'
Spacing:	10.0' x 10.0'
Height:	3.1' above grade

ILLUMINATION DESIGN SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	Entire Grid
Scan Average:	2.98
Maximum:	14
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	4.81
CU:	0.95
No. of Poles:	2554
LUMINAIRE INFORMATION	
Applied Circuits:	F
No. of Luminaires:	82
Total Load:	6.48 KW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty Document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (3m) of design locations.

SCALE IN FEET 1 : 80

 ENGINEERED DESIGN By: Tye Burch - File #210371D - 25-Apr-23

Pole location(s) ◆ dimensions are relative to 0,0 reference point(s) ⊗



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1981, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

BO 32

EQUIPMENT LIST FOR AREAS SHOWN										
QTY	LOCATION	POLE	HEIGHT	LUMINAIRE			WATT	FIRE	OVER	TOTAL
				TYPE	NO.	WATT				
2	A1-A3	87'	-3'	75.9'	TLC-LED-550	1	0	1		
				75.9'	TLC-LED-550	1	1	0		
				15.4'	TLC-81575	1	1	0		
1	B1	70'	-3'	79.9'	TLC-LED-1200	8	2	0		
				69.9'	TLC-LED-1500	6	6	0		
				15.4'	TLC-81575	2	2	0		
1	B2	80'	-3'	79.9'	TLC-LED-1500	5	5	0		
				15.4'	TLC-81575	2	2	0		
				79.9'	TLC-LED-550	1/2	0	1		
1	C1	70'	-3'	69.9'	TLC-LED-550	1/2	0	1		
				15.4'	TLC-81575	2	2	0		
				69.9'	TLC-LED-1200	5	5	0		
5						44	83	11		

Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

GRID SUMMARY	
Name:	Multi-purpose
Site:	310' x 169'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

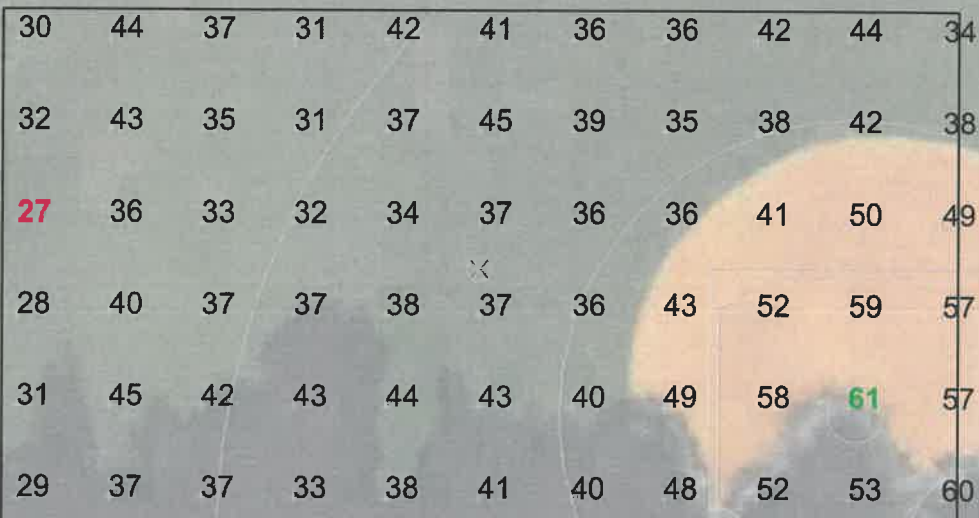
ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	Entire Grid
Guaranteed Average	40
Scan Average	40.75
Maximum	61
Minimum	27
Avg / Min.	1.49
Guaranteed Max / Min	2.5
Max / Min.	2.23
UG (adjacent post)	3.47
CU	0.56
No. of Poles	66
LUMINAIRE INFORMATION:	
Applied Circuits	8
No. of Luminaires	18
Total Load	34.71 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.55 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-15.

Electrical System Requirements: Refer to Ampereage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



SCALE IN FEET 1 : 30
ENGINEERED DESIGN By: Tye Burch · File #210371D · 25-Apr-23



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1981, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

BO33

EQUIPMENT LIST FOR AREAS SHOWN

CITY	LOCATION	SIDE	GRADE	HOISTED HEIGHT	Luminaires			TUB	SPRINK
					TYPE	POS.	QTY.		
1	T1	SP	-1'	49.9'	TL-CLED-S50	3	2	1	
2	T2-T3	SP	-1'	49.9'	TL-CLED-S50	2	2	0	
3	T4	SP	-1'	49.9'	TL-CLED-S50	3	2	2	
4	TOTALS					11	8	3	

Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

GRID SUMMARY

Name: Trenches
Size: 1 Court - 12' Spacing
Spacing: 20.0' x 20.0'
Height: 3.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES

Entire Grid

Guaranteed Average:	36
Scan Average:	34.50
Maximum:	41
Minimum:	26
Avg / Min:	1.56
Guaranteed Max / Min:	2.5
Max / Min:	1.59
UG (equivalent pts):	0.00
CU:	0.40
No. of Points:	35

LUMINAIRE INFORMATION

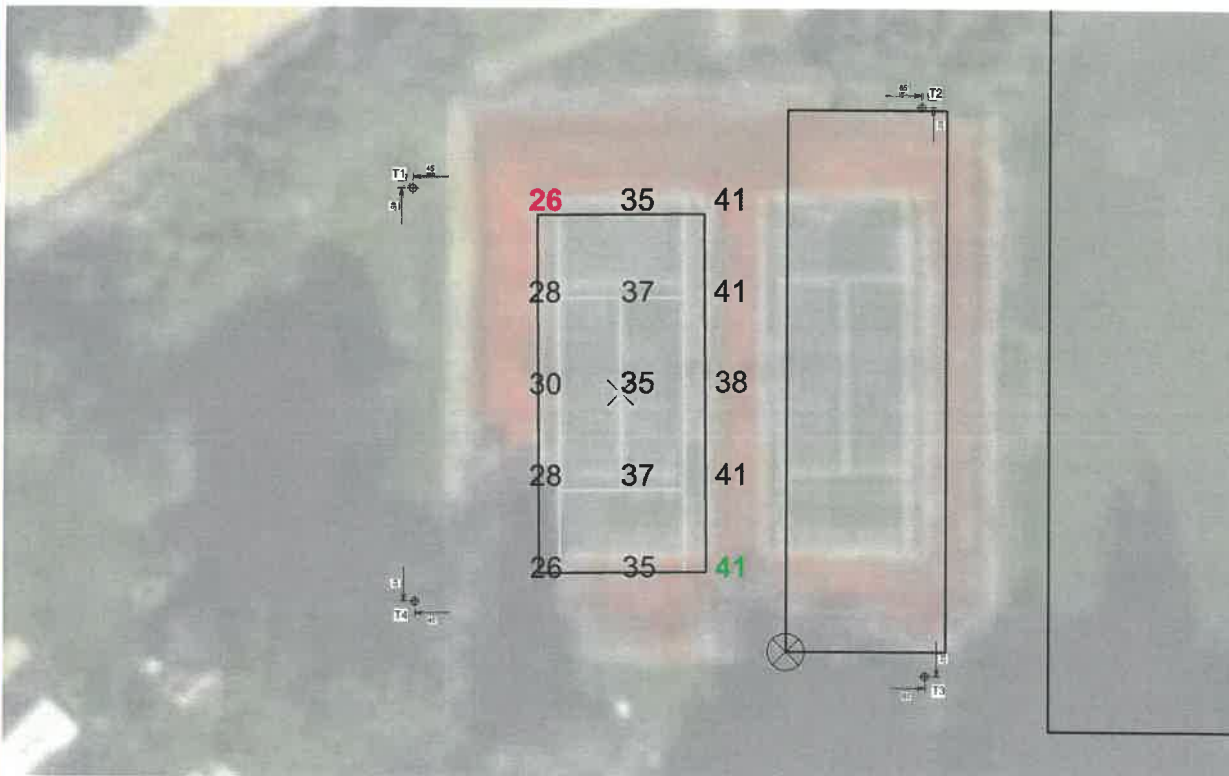
Applied Circuits: C
No. of Luminaires: 8
Total Load: 4.32 kW

Guaranteed Performance: The illumination described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA 17-6-15.

Electrical System Requirements: Refer to Ampereage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 2% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ◆ dimensions are relative to 0.0 reference point(s) ⊙



ENGINEERED DESIGN By: Tye Burch • File #210371D • 25-Apr-23



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1981, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

BO 34

EQUIPMENT LIST FOR AREAS SHOWN

CITY	LOCATION	SIZE	GRADE ELEVATION	ROUNDING HEIGHT	TYPE	WATT	WATT	OTHER
1	T1	50'	-50'	43.54'	TLC-LED-550	2	1	1
2	T2-T3	50'	-50'	43.84'	TLC-LED-550	2	1	1
3	T4	50'	-50'	43.54'	TLC-LED-550	4	1	1
4								
TOTALS						11	1	1

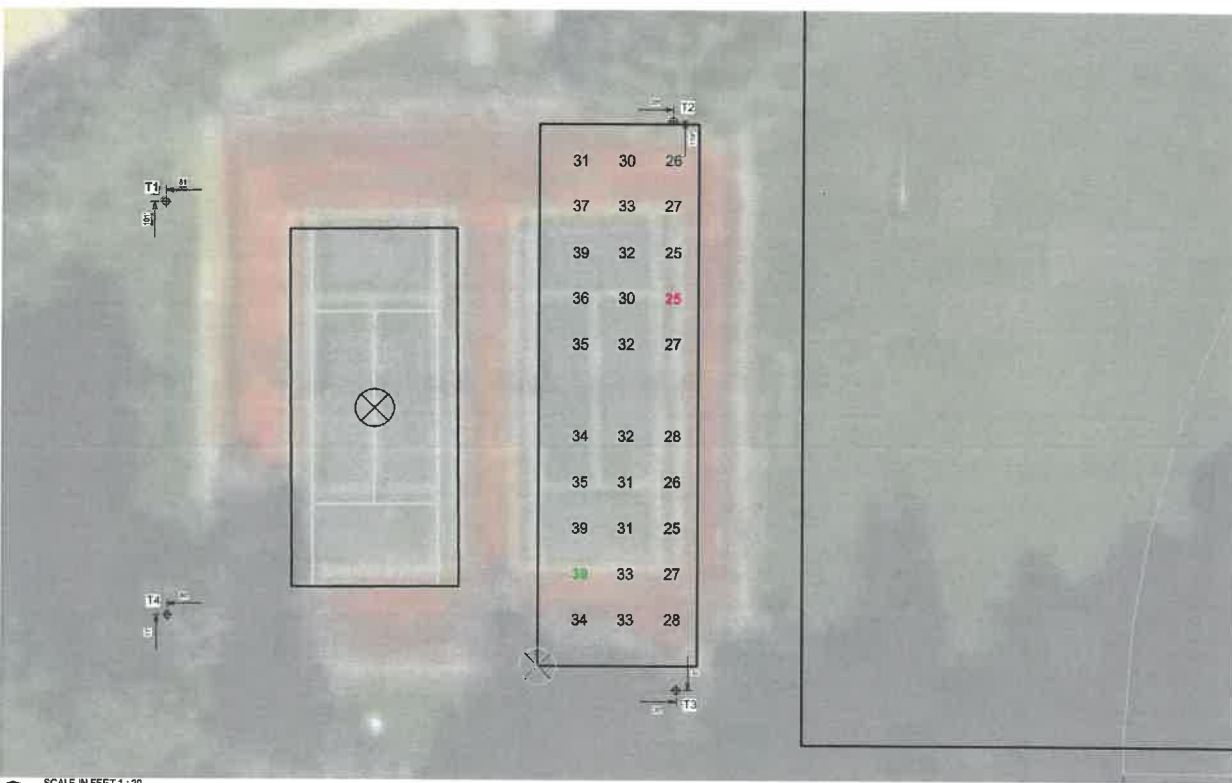
Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

GRID SUMMARY

Name:	Pickleball
Size:	35' x 111'
Spacing:	10.0' x 10.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOT-CANDELES	
Entire Grid	
Guaranteed Average:	30
Scan Average:	31.31
Maximum:	39
Minimum:	25
Avg / Min:	1.27
Guaranteed Max / Min:	2.5
UG (adjacent pts):	1.30
CU:	0.18
No. of Points:	30
LUMINAIRE INFORMATION	
Applied Circuits:	C
No. of Luminaires:	8
Total Load:	4.32 KW



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1801, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

BO 35

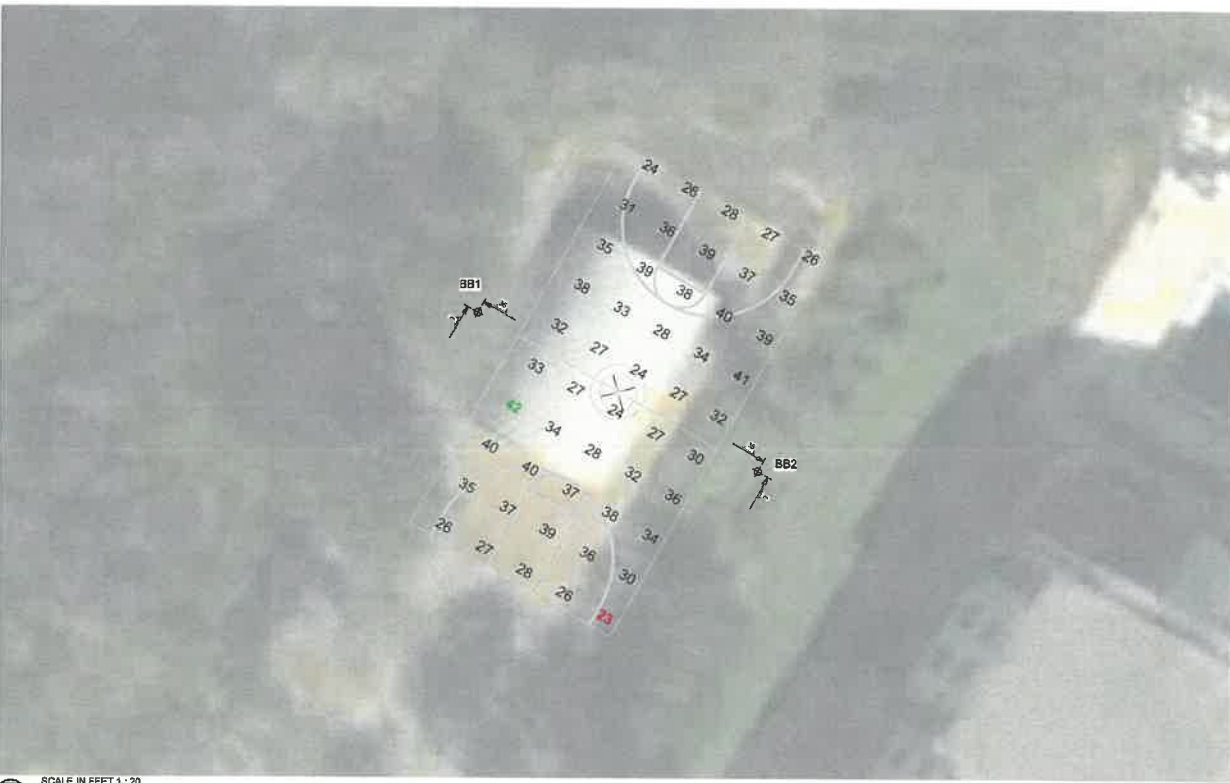
EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	SIZE	GRADE	MANUFACTURER	TYPE	QTY	TYPE
2	BB1, BB2	40'	-3"	50.6"	YLC-10-400	6	6
TOTALS						6	6

Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

GRID SUMMARY	
Name:	Basketball
Size:	96' x 50'
Spacing:	10.0' x 10.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANLES	
Entire Grid	
Guaranteed Average:	36
Scan Average:	32.54
Maximum:	42
Minimum:	23
Avg / Min:	1.40
Guaranteed Max / Min:	3
Max / Min:	1.79
UG (adjacent pts):	1.39
CU:	0.61
No. of Points:	50
LUMINAIRE INFORMATION	
Applied Circuits:	6
No. of Luminaires:	6
Total Load:	7.4 KW



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



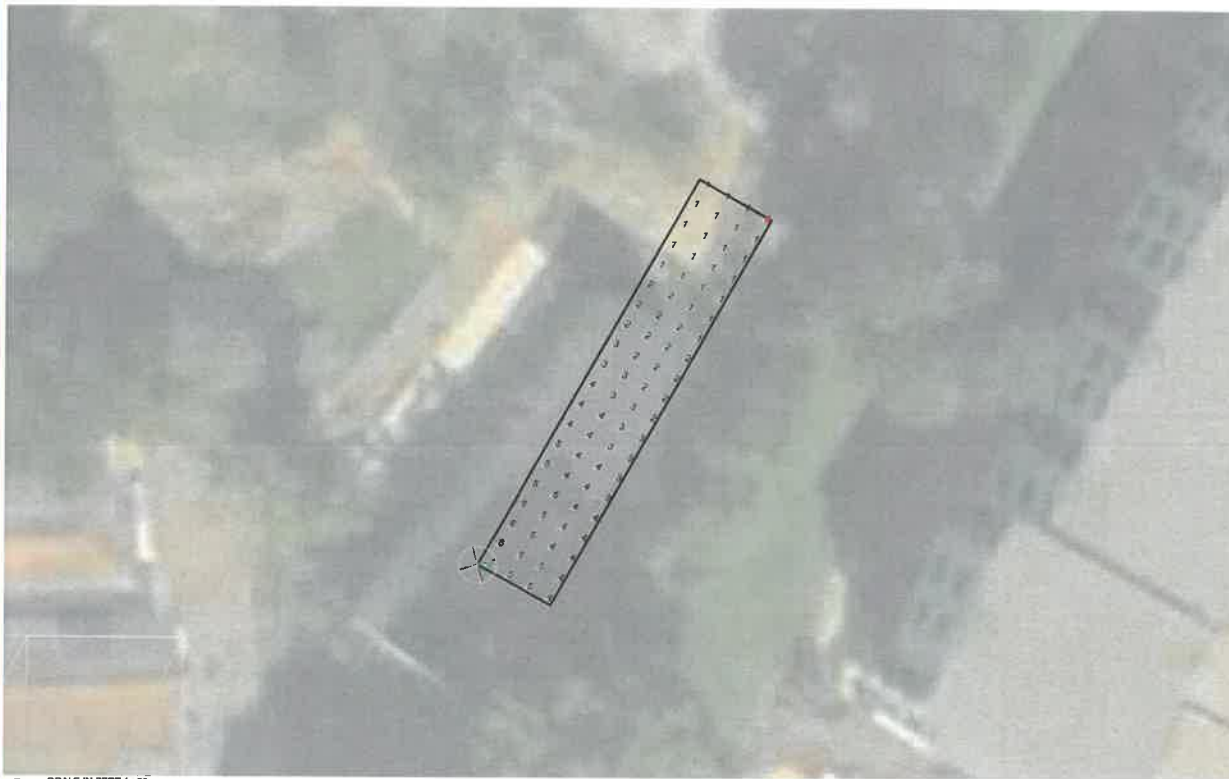
Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC ©1991, 2003 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

BO 36

EQUIPMENT LIST FOR AREAS SHOWN										
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTED HEIGHT	LUMINAIRE TYPE	QTY	WATTAGE	VOLTAGE	OTHER	
									WATTAGE	OTHER
1	B2	80'	31'	25.0'	TLC-LED-1500	2	0	0	0	0
				15.4'	TLC-81375	2	0	0	0	0
				28.5'	TLC-LPD-559	2/2*	2	2	2	2
TOTALS						1/2	2	2	2	2

* This structure utilizes a back-to-back mounting configuration



Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

GRID SUMMARY	
Name:	Cornhole/Horseshoe
Size:	18' x 99'
Spacing:	5.0' x 5.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MOUNTED HORIZONTAL FOOTCANDLES	
Entire Grid	
Scan Average:	2.81
Maximum:	5
Minimum:	0
Avg / Min:	5.89
Max / Min:	12.28
UG (adjacent pt.):	1.27
CU:	0.04
No. of Points:	80
LUMINAIRE INFORMATION	
Applied Circuits:	0
No. of Luminaires:	2
Total Load:	1.08 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-5-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume a 2% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



ENGINEERED DESIGN By: Tye Burch · File #210371D · 25-Apr-23

Pole location(s) ◆ dimensions are relative to 0,0 reference point(s) ⊙



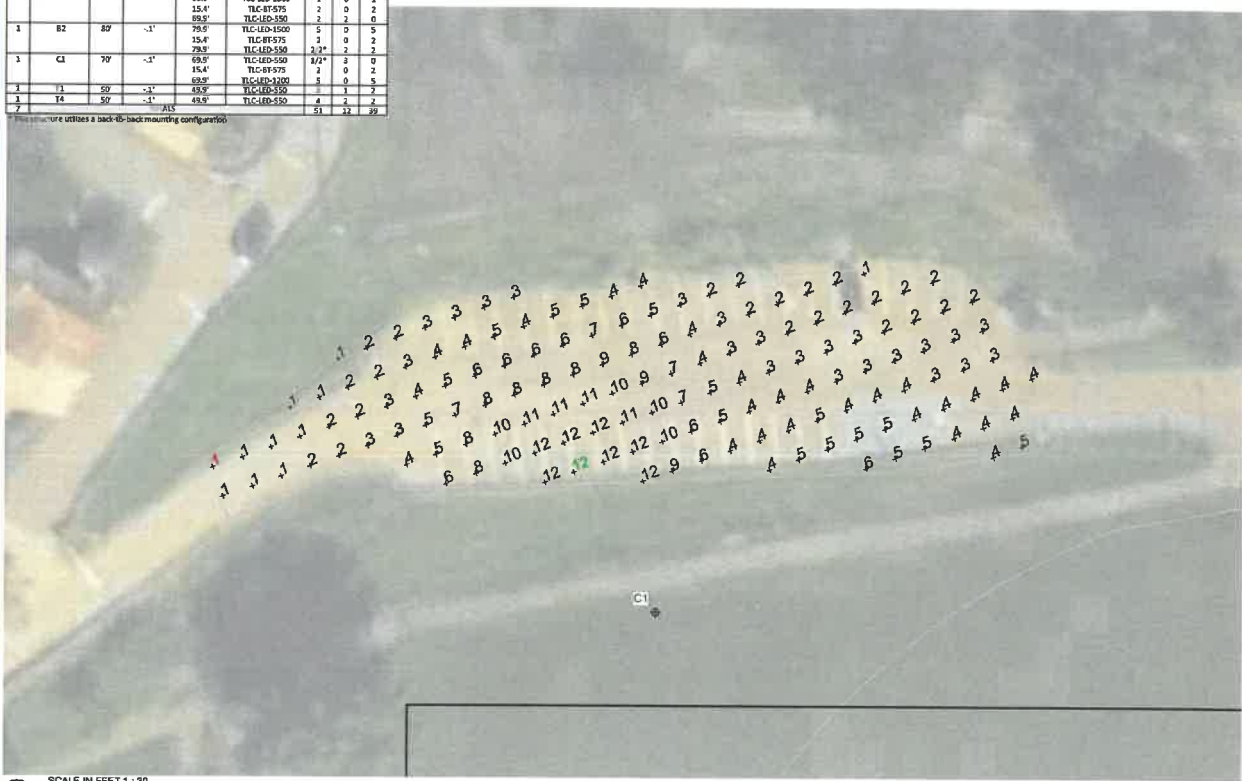
Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1981, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

BO 37

EQUIPMENT LIST FOR AREAS SHOWN									
QTY	LOCATION	SIZE	MOUNT ELEVATION	Luminaire		AVL	FIR	FIR	FIR
				Height	Type				
2	A3-A4	80'	-1'	79.5'	TLC-LED-500	1	0	0	0
				79.5'	TLC-LED-900	1	0	1	0
				15.4'	TLC-8F575	1	0	1	0
1	B1	70'	-1'	79.5'	TLC-LED-1200	3	0	3	0
				69.5'	TLC-LED-1500	1	0	1	0
				15.4'	TLC-8F575	2	0	2	0
				69.5'	TLC-LED-550	2	2	0	0
				15.4'	TLC-8F575	1	0	2	2
1	B2	80'	-1'	79.5'	TLC-LED-1500	5	0	5	0
				15.4'	TLC-8F575	1	0	2	2
				79.5'	TLC-LED-550	2	2	2	2
1	C1	70'	-1'	69.5'	TLC-LED-550	1/2*	3	0	0
				15.4'	TLC-8F575	1	0	2	2
				69.5'	TLC-LED-1200	5	0	5	0
1	11	50'	-1'	69.5'	TLC-LED-550	4	1	7	0
1	14	50'	-1'	69.5'	TLC-LED-550	4	1	7	0
7				AVL		51	12	69	

*This luminaire utilizes a back-to-back mounting configuration.



ENGINEERED DESIGN By: TJB Burch - File #210371D - 25-Apr-23

Pole location(s) ◆ dimensions are relative to 0,0 reference point(s) ⊙

Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

GRID SUMMARY	
Name:	Parking
Spacing:	10.0' x 10.0'
Height:	10.0' above grade

ILLUMINATION SUMMARY	
*ARRANTY/DIMENSIONAL PACKAGES	
Entire Grid	
Scan Average:	6.76
Maximum:	12
Minimum:	1
Avg / Min:	7.44
Max / Min:	39.62
UG (adjacent pts):	1.59
CU:	0.09
No. of Points:	347
LUMINAIRE INFORMATION:	
Applied Circuits:	F
No. of Luminaires:	12
Total Load:	6.48 KW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.
Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.
Electrical System Requirements: Refer to Ampage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.
Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC ©1991, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

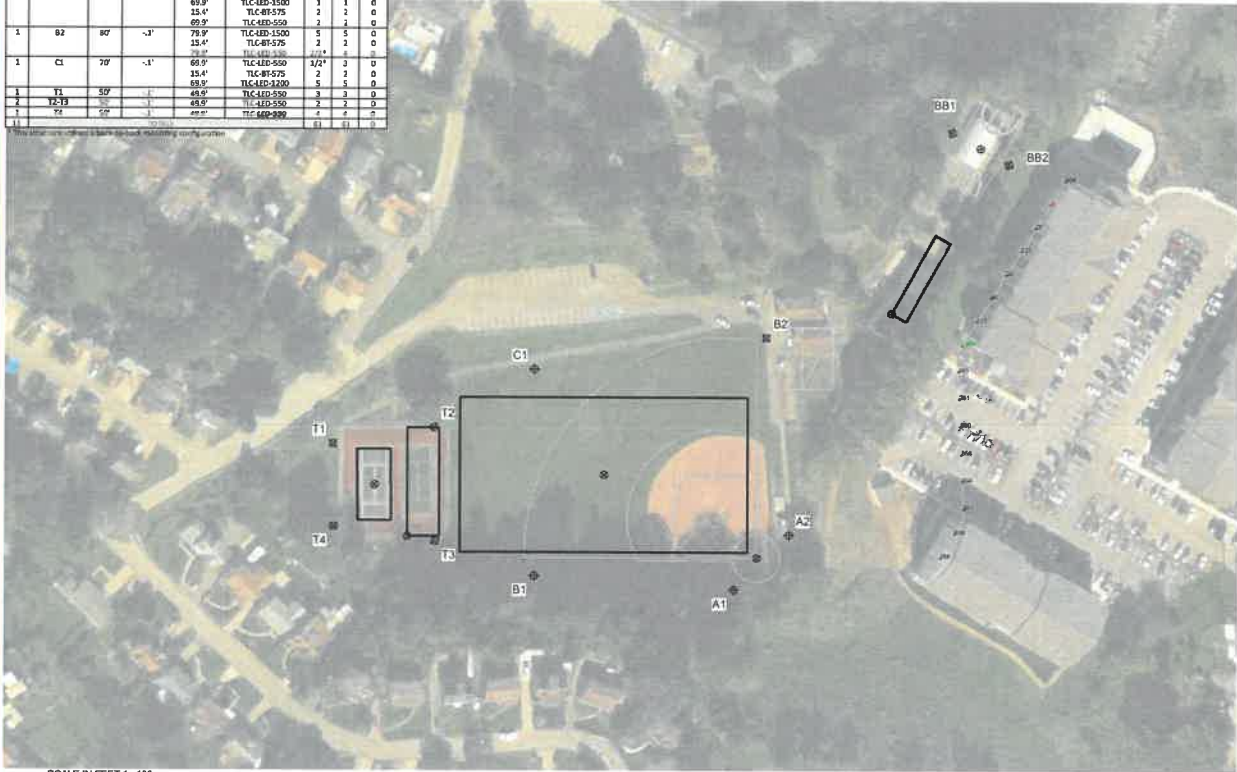
BO 38

EQUIPMENT LIST FOR AREAS SHOWN									
QTY	LOCATION	Pole			Luminaires				
		AGE	HEIGHT	SPACING	TYPE	POS.	DIR.	DRIVE	OPER.
2	A1-A2	80'	-1'	79.9'	TLC4ED-150	1	1	0	0
				79.9'	TLC4ED-100	1	1	0	0
				79.9'	TLC4ED-1200	3	3	0	0
1	B1	70'	-1'	69.9'	TLC4ED-1100	6	6	0	0
				69.9'	TLC4ED-1500	1	1	0	0
				15.4'	TLC4ED-575	2	2	0	0
1	B2	80'	-1'	79.9'	TLC4ED-1500	5	5	0	0
				15.4'	TLC4ED-575	2	2	0	0
				79.9'	TLC4ED-1100	2	2	0	0
1	C1	70'	-1'	69.9'	TLC4ED-650	1/2	3	0	0
				15.4'	TLC4ED-575	2	2	0	0
				69.9'	TLC4ED-1200	5	5	0	0
1	T1	50'	-1'	49.9'	TLC4ED-1500	3	3	0	0
				49.9'	TLC4ED-1200	2	2	0	0
2	T2-T3	50'	-1'	49.9'	TLC4ED-1500	3	3	0	0
				49.9'	TLC4ED-1200	2	2	0	0
1	T4	50'	-1'	49.9'	TLC4ED-1500	3	3	0	0
				49.9'	TLC4ED-1200	2	2	0	0

Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

GRID SUMMARY	
Name:	Apartment East
Spacing:	30.0'
Height:	15.0' above grade

ILLUMINATION SUMMARY	
CANDIES (Ft Hx 10ft)	Entire Grid
Scan Average:	446,3854
Maximum:	1079.51
Minimum:	5.34
No. of Points:	16
UNITS: lumens per sq. ft. (lm/ft²)	
Applied Circuits:	A, B, C, D, E, F, G
No. of Luminaires:	61
Total Load:	48.99 kW



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume a 1% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

SCALE IN FEET 1 : 100

 ENGINEERED DESIGN By: Tye Burch • File #2110371D • 25-Apr-23

Pole location(s) ⬮ dimensions are relative to 0.0 reference point(s) ⬮



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1981, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

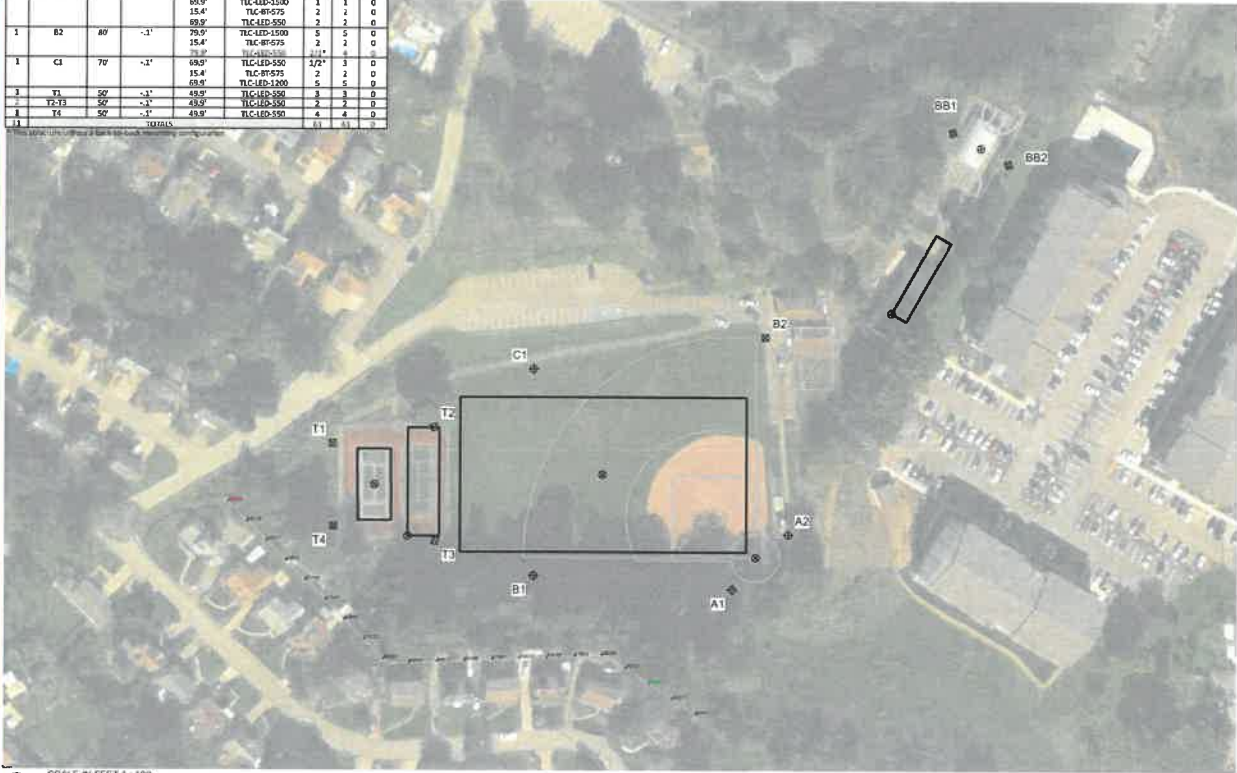
B039

EQUIPMENT LIST FOR AREAS SHOWN									
QTY	LOCATION	Pole		HEIGHT	LUMINAIRE	LUMINAIRE			
		SIZE	BUSBAR			TYPE	WATT	FLUX	BEAM
2	AT #1	80'	-1'	75.9'	TLC-LED-550	1	1	0	
				75.9'	TLC-LED-400	1	1	0	
				15.4'	TLC-87575	3	1	0	
1	B1	70'	-3'	89.9'	TLC-LED-550	2	3	0	
				89.9'	TLC-LED-1200	6	6	0	
				15.4'	TLC-87575	2	2	0	
1	B2	80'	-3'	89.9'	TLC-LED-550	1	1	0	
				89.9'	TLC-LED-550	2	2	0	
				15.4'	TLC-87575	2	2	0	
1	C1	70'	-1'	89.9'	TLC-LED-550	1/2"	3	0	
				15.4'	TLC-87575	2	2	0	
				89.9'	TLC-LED-1200	5	5	0	
2	T1	50'	-1'	49.9'	TLC-LED-550	3	3	0	
				49.9'	TLC-LED-550	2	2	0	
1	T2-T3	50'	-1'	49.9'	TLC-LED-550	2	2	0	
				49.9'	TLC-LED-550	4	4	0	
1	T4	50'	-1'	49.9'	TLC-LED-550	4	4	0	
1	TOTALS					61	61	0	

Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

GRID SUMMARY	
Name:	House Elev
Spacing:	30.0'
Height:	55.9' above grade

ILLUMINATION SUMMARY	
CANDELA (PER FOOT CANDLE)	Entire Grid
Scan Average:	58084.6172
Maximum:	74959.93
Minimum:	43699.71
No. of Points:	21
LUMINAIRE INFORMATION	
Applied Circuits:	A, B, C, D, E, F, G
No. of Luminaires:	65
Total Load:	48.99 kW



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Drive Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (3m) of design locations.



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1981, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

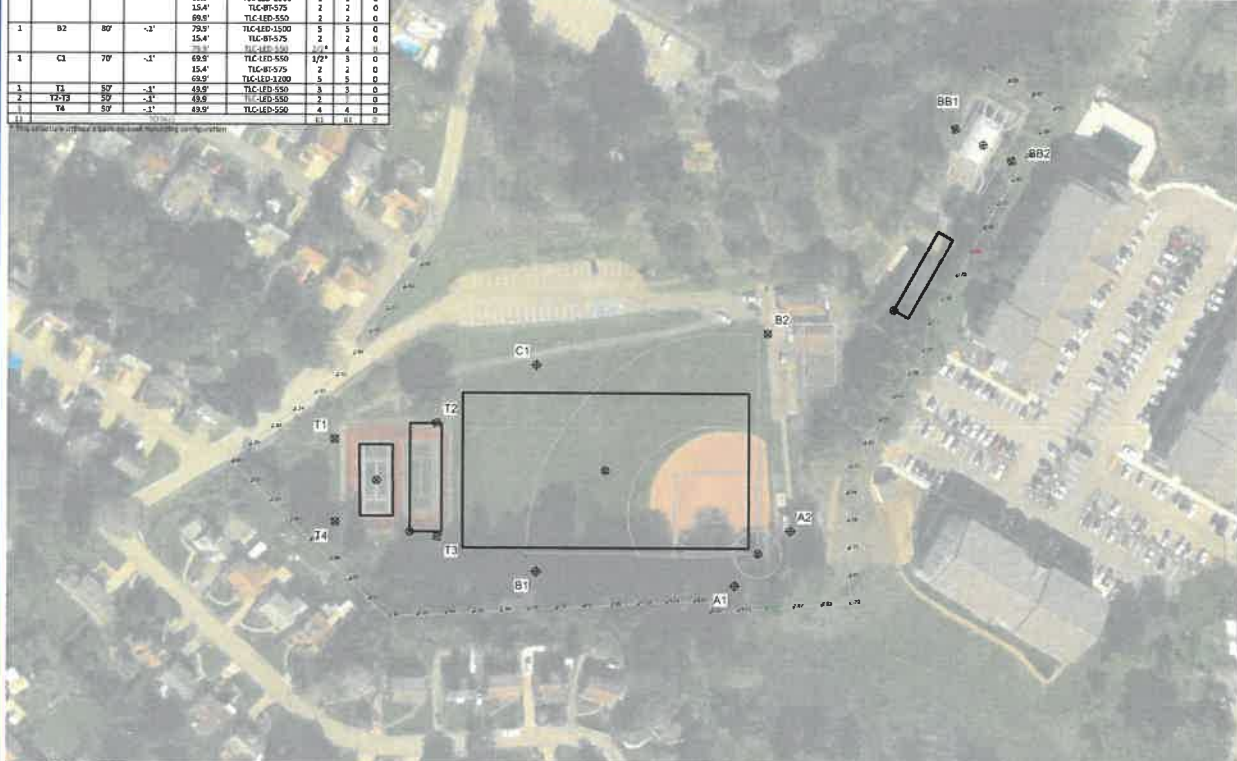
13040

EQUIPMENT LIST FOR AREAS SHOWN									
QTY	LOCATION	Pole			Height	Luminaire	Luminaire		
		Size	Spacing	Height			Qty	Watt	Efficiency
2	A1-A2	80'	-1'	75.9'	TLC-LED-330	1	1	0	
				76.9'	TLC-LED-900	1	1	0	
				15.4'	TLC-8F-975	1	1	0	
				79.9'	TLC-LED-1100	1	3	0	
1	BB1	70'	-1'	69.9'	TLC-LED-1100	6	6	0	
				69.9'	TLC-LED-1100	1	1	0	
				15.4'	TLC-8F-975	2	2	0	
				69.9'	TLC-LED-550	2	2	0	
1	B2	80'	-1'	79.9'	TLC-LED-1100	5	5	0	
				15.4'	TLC-8F-975	2	2	0	
				79.9'	TLC-LED-550	2	2	0	
1	C1	70'	-1'	69.9'	TLC-LED-1100	17	3	0	
				69.9'	TLC-LED-1100	2	2	0	
				15.4'	TLC-8F-975	2	2	0	
1	T1	50'	-1'	49.9'	TLC-LED-1100	5	5	0	
2	T2-T3	50'	-1'	49.9'	TLC-LED-550	4	4	0	
1	T4	50'	-1'	49.9'	TLC-LED-550	4	4	0	

Cattle Shannon Hamilton Park Sports Fields
Cattle Shannon, PA

GRID SUMMARY	
Name:	Property Line Split
Spacing:	30.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
ENTIRE GRID	
Scan Average:	3.3855
Maximum:	14.00
Minimum:	0.26
No. of Points:	59
LUMINAIRE REQUIREMENTS:	
Applied Circuits:	A, B, C, D, E, F, G
No. of Luminaires:	63
Total Load:	48.99 KW



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document.
Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.
Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.
Installation Requirements: Results assume a 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

SCALE IN FEET 1 : 100
 0 100 200
 ENGINEERED DESIGN By: Tye Burch · File #210371D · 25-Apr-23

Pole location(s) ● dimensions are relative to 0,0 reference point(s) ⊗



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1981, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

BD 41

EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	SIZE	HEIGHT	FOOTCANDLES	TYPE	SPACING	NO. OF POINTS	NO. OF LUMINAIRES	NO. OF WATTAGE
2	A1-A2	80'	-1'	75.9'	TLC-LED-1200	11' x 11'	1	1	0
				75.9'	TLC-LED-4000		1	1	0
				75.9'	TLC-LED-575		1	1	0
				75.9'	TLC-LED-1200		3	3	0
1	B1	70'	-1'	65.5'	TLC-LED-1200	6' x 6'	6	6	0
				65.5'	TLC-LED-1500		1	1	0
				65.5'	TLC-LED-575		2	2	0
				65.5'	TLC-LED-550		2	2	0
1	B2	80'	-1'	79.8'	TLC-LED-4500	5' x 5'	5	5	0
				79.8'	TLC-LED-575		2	2	0
				79.8'	TLC-LED-1200		4	4	0
1	C1	70'	-1'	65.5'	TLC-LED-550	1/2" x 1/2"	3	3	0
				65.5'	TLC-LED-575		2	2	0
				65.5'	TLC-LED-1200		5	5	0
1	T1	50'	-1'	45.5'	TLC-LED-550	3' x 3'	3	3	0
2	T2	50'	-1'	45.5'	TLC-LED-550	3' x 3'	3	3	0
3	T3	50'	-1'	45.5'	TLC-LED-550	3' x 3'	3	3	0

GRID SUMMARY

Name: Property Line Split
Spacing: 30.0'
Height: 3.0' above grade

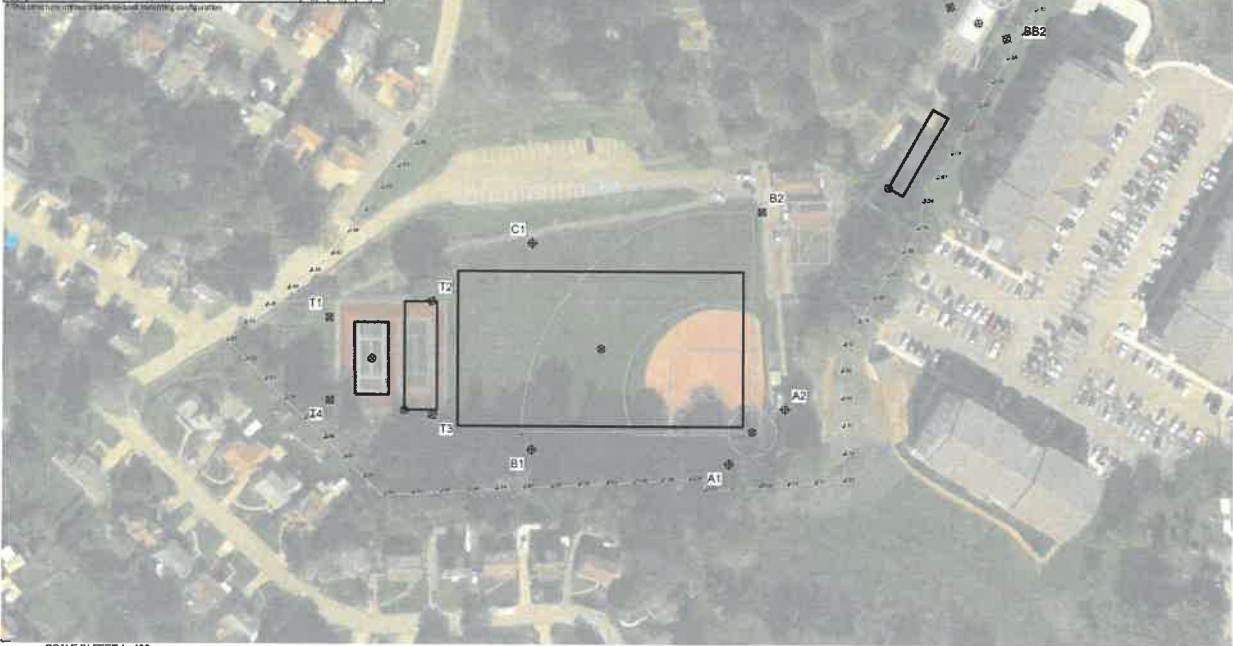
ILLUMINATION SUMMARY

MAX VERTICAL FOOTCANDLES

Entire Grid	5.3454
Maximum	21.54
Minimum	0.71
No. of Points	59

LUMINAIRE INFORMATION

Applied Circuits: A, B, C, D, E, F, G
No. of luminaires: 61
Total Load: 48.59 kW



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-8-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume a 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC ©1981, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

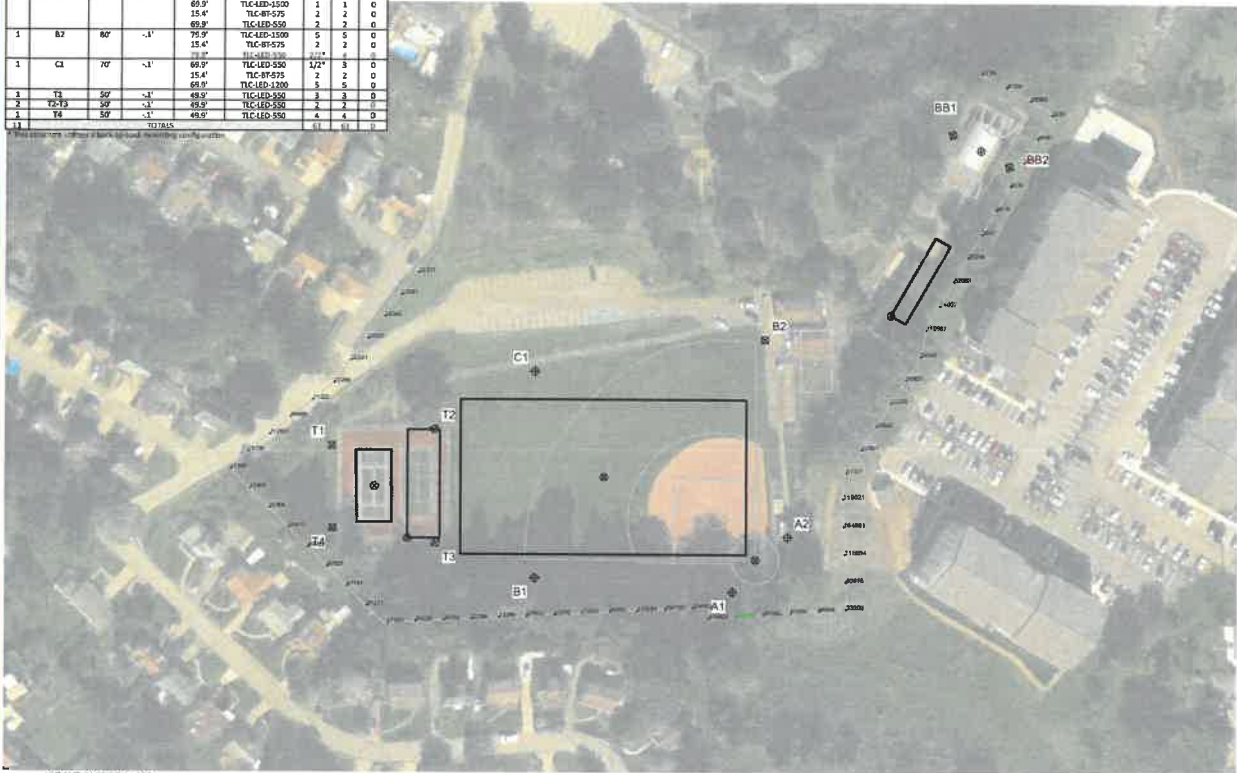
BO 42

EQUIPMENT LIST FOR AREAS SHOWN									
QTY	LOCATION	Pole			Luminaires				
		HEI	SWAY	WIND	WATTAGE	TYPE	ZONE	TYPE	ZONE
2	A1-A2	80'	-1'	79.9'	TLC-LED-550	1	1	0	
					TLC-LED-500	1	1	0	
					TLC-8T-575	1	1	0	
2	BB1-BB2	80'	-1'	79.9'	TLC-LED-550	2	2	0	
					TLC-LED-500	2	2	0	
					TLC-8T-575	2	2	0	
1	B1	70'	-1'	69.9'	TLC-LED-1200	6	6	0	
					TLC-LED-550	1	1	0	
					TLC-8T-575	2	2	0	
1	B2	80'	-1'	79.9'	TLC-LED-550	2	2	0	
					TLC-LED-500	2	2	0	
					TLC-8T-575	2	2	0	
1	C1	70'	-1'	69.9'	TLC-LED-1200	6	6	0	
					TLC-LED-550	1	1	0	
					TLC-8T-575	2	2	0	
3	T1	50'	-1'	49.9'	TLC-LED-550	3	3	0	
					TLC-LED-500	3	3	0	
					TLC-8T-575	3	3	0	
2	T2-T3	50'	-1'	49.9'	TLC-LED-550	2	2	0	
					TLC-LED-500	2	2	0	
					TLC-8T-575	2	2	0	
1	T4	50'	-1'	49.9'	TLC-LED-550	4	4	0	
					TLC-LED-500	4	4	0	
					TLC-8T-575	4	4	0	
11					TOTALS	61	61	0	

Castle Shannon Hamilton Park Sports Fields
Castle Shannon, PA

GRID SUMMARY	
Name:	Property Line Split (C4)
Spacing:	30.0'
Height:	5.0' above grade

ILLUMINATION SUMMARY	
CANDELA PER FOOT CURE:	Entire Grid
Scan Average:	52486.9047
Maximum:	250853.70
Minimum:	3120.57
No. of Points:	59
LUMINAIRE INFORMATION	
Applied Circuits:	A, B, C, D, E, F, G
No. of Luminaires:	61
Total Load:	48.99 kW



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document.
Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-5-15.
Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.
Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

SCALE IN FEET 1" = 100'
 0' 100' 200'
 ENGINEERED DESIGN By: Tye Burch · File #210371D · 25-Apr-23

Pole location(s) ◆ dimensions are relative to 0,0 reference point(s) ⊗



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1981, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

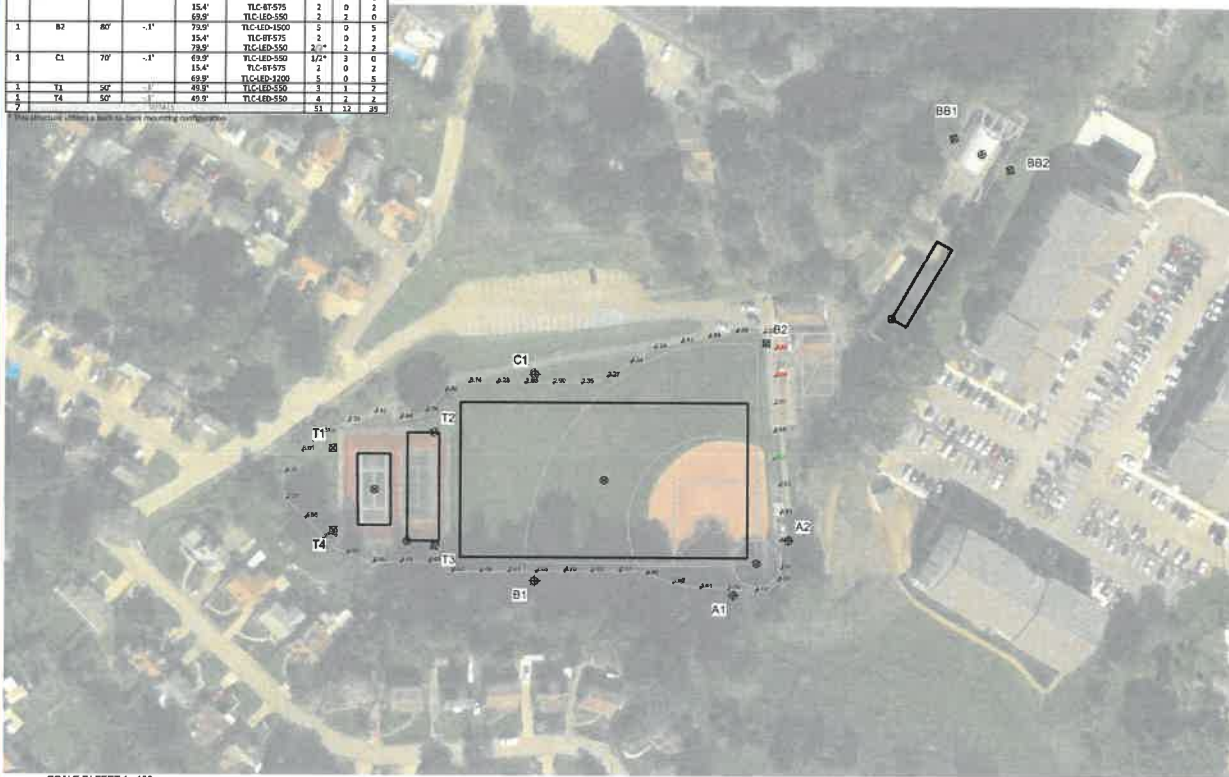
BO 43

Castle Shannon Hamilton Park Sports Fields
 Castle Shannon, PA

EQUIPMENT LIST FOR AREAS SHOWN									
CITY	LOCATION	MER	PILE ELEVATION	Luminaire				TOTAL	TOTAL
				HEIGHT	TYPE	QTY	WATT		
2	A1-C1	80'	-1'	79.5'	TLC-LED-200	1	200	0	0
				15.4'	TLC-LED-900	1	0	1	
				29.9'	TLC-87575	1	0	1	
1	B1	70'	-1'	69.9'	TLC-LED-1200	3	0	3	0
				69.9'	TLC-LED-1500	1	0	1	
				15.4'	TLC-87575	2	0	2	
1	B2	80'	-1'	79.9'	TLC-LED-1500	2	0	2	0
				15.4'	TLC-87575	2	0	2	
				79.9'	TLC-LED-350	2	0	2	
1	C1	70'	-1'	69.9'	TLC-LED-550	1/2*	0	0	0
				15.4'	TLC-87575	2	0	2	
				69.9'	TLC-LED-1200	5	0	5	
1	T1	50'	-1'	49.9'	TLC-LED-350	1	0	1	0
1	T4	50'	-1'	49.9'	TLC-LED-350	4	0	4	0
2						51	0	51	0

GRID SUMMARY	
Name:	Walking Path
Spacing:	30.0'
Height:	7.9' above grade

ILLUMINATION SUMMARY	
Scan Average:	Entire Grid
	4.9554
Maximum:	9.53
Minimum:	0.00
No. of Points:	49
UNKNOWN NO. OF POINTS	
Applied Circuits:	F
No. of Luminaires:	52
Total Load:	6.48 kW



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Ampere Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

SCALE IN FEET 1 : 100
 0 100 200
 ENGINEERED DESIGN By: Tye Burch • File #210371D • 25-Apr-23

Pole location(s) ◉ dimensions are relative to 0.0 reference point(s) ⊙



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©1991, 2023 Musco Sports Lighting, LLC.

ILLUMINATION SUMMARY

BO 44



Castle Shannon Hamilton Park Sports Fields
 Castle Shannon, PA

EQUIPMENT LAYOUT

INCLUDES:

- Baseball
- Softball
- Combioly/Horseshoe
- Multipurpose
- Pickleball 1-2
- Tennis

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume 1 2% nominal voltage at line side of the driver and structures located within 5 feet (1.5m) of design locations.

EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	CLASS	HEIGHT (FEET)	SCOPED (FOOT)	TYPE	Comments	Notes
2	A1-A2	LS80A	80'	80'	TLC-LED-550		1
			80'	15.5'	TLC-LED-900		1
				15.5'	TLC-8F-575		1
				80'	TLC-LED-1500		3
2	B01 B02	LS90A	-3'	39.5'	TLC-LED-400		3
1	B1	LS70C	-	70'	TLC-LED-3200		6
				70'	TLC-LED-3500		1
				15.5'	TLC-8F-575		2
				70'	TLC-LED-550		2
1	B2	LS80A	-	80'	TLC-LED-1500		3
				15.5'	TLC-8F-575		2
1	C1	LS70B	-	80'	TLC-LED-550		1
				15.5'	TLC-8F-575		2
1	T1	LS50A	-3'	49.5'	TLC-LED-550		3
1	T2	LS50A	-3'	49.5'	TLC-LED-550		3
1	T4	LS50A	-3'	49.5'	TLC-LED-550		3
					TOTALS		63

SINGLE STRUCTURE AMPERAGE DRAW CHART

Driver (Line Voltage)	Line Amperage Per Fixture (Line-Volt)					
	208	240	277	347	500	480
TLC-LED-550	3.2	3.0	2.8	2.4	1.9	1.4
TLC-LED-400	2.3	2.2	2.0	1.7	1.4	1.0
TLC-LED-1500	6.8	6.5	6.0	5.2	4.2	3.0
TLC-8F-575	2.4	2.2	2.0	1.6	1.2	0.9
TLC-LED-1000	8.4	7.8	7.3	6.3	5.0	3.6
TLC-LED-900	5.2	4.9	4.5	3.9	3.1	2.3

SCALE IN FEET 1 : 70

ENGINEERED DESIGN By: Tye Burch · File #Z10371D · 25-Apr-23

Pole location(s) ● dimensions are relative to 0,0 reference point(s) ⊙



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC. ©2013, ©2015 Musco Sports Lighting, LLC.

EQUIPMENT LAYOUT

B0 45

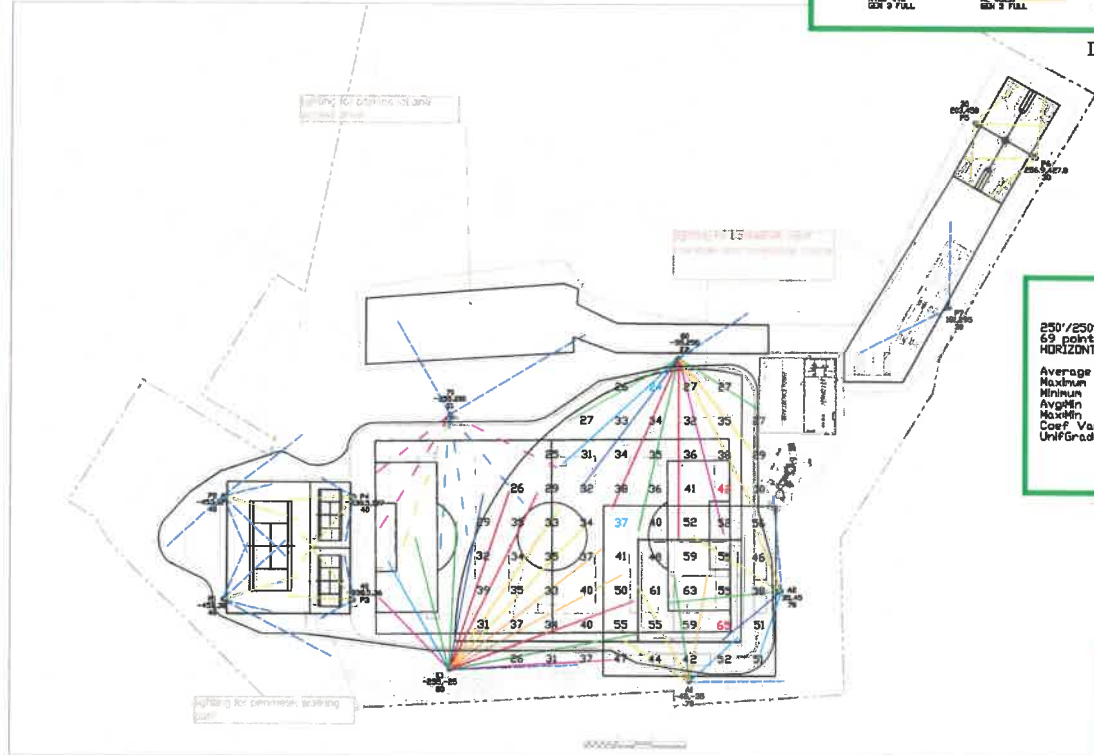
GAMECHANGER™

QLED

File	Model	Height	BE	BE-43	BE-43C40	Max3	Max2	Max1	Max0	Max-1	Max-2	Max-3	Max-4	Total	W
A2	35	45	70%											6	72
E1	100	25	80%	2	2	2	1	1	1	1	1	1	1	25	180
E2	35	20	80%	1	2	2	1	2	1	1	1	1	1	11	137
P1	400	36	40%											3	33
P2	400	17	40%											4	39
P3	300	36	40%											4	36
P4	300	17	40%											4	36
P5	300	40	30%											3	33
P6	250	40	30%											3	33
P7	200	40	30%											3	33
P8	200	40	30%											3	33
Total														74	714

■ Max3 GEN 3 FULL
■ Max2 GEN 3 FULL
■ Max1 GEN 3 FULL
■ Max0 GEN 3 FULL
■ Max-1 GEN 3 SMALL
■ Max-2 GEN 3 SMALL
■ Max-3 GEN 3 SMALL
■ Max-4 GEN 3 SMALL

DASHED BEAMS ARE TURNED OFF



250'/250'/235' Baseball Field
 69 points (25 Infield, 44 Outfield) at z=3, sp 30ft by 30ft
 HORIZONTAL FOOTCANDLES

Average	Infield
33	51
42	65
24	37
1.37	1.38
1.75	1.76
0.14	0.15
1.42	1.45

Qualite
SPORTS LIGHTING, LLC

GC-1200W/600W/C-1	QL-22248D2-A
LOWER HAMILTON PARK - BASEBALL FIELD	
PITTSBURGH, PA	
LD	1"=125'
	1/10/2023
	1 OF 4

THIS INFORMATION IS CONFIDENTIAL AND PROPRIETARY TO QUALITE SPORTS LIGHTING LLC AND IS NOT TO BE REVEALED OR DISTRIBUTED TO OTHERS WITHOUT THE PERMISSION OF QUALITE SPORTS LIGHTING LLC. OR USED IN ANY MANNER DETRIMENTAL TO THE INTEREST OF QUALITE SPORTS LIGHTING LLC.

GUARANTEE IS BASED ON PROPER INSTALLATION, MINIMUM INPUT VOLTAGES, MOUNTING HEIGHT +4-3 FEET, AND POLES PLACED WITHIN 4 FEET OF SPECIFIED LOCATIONS. POLES TO COMPLY WITH CURRENT AAS-10 STANDARDS

WWW.QUALITE.COM



B046

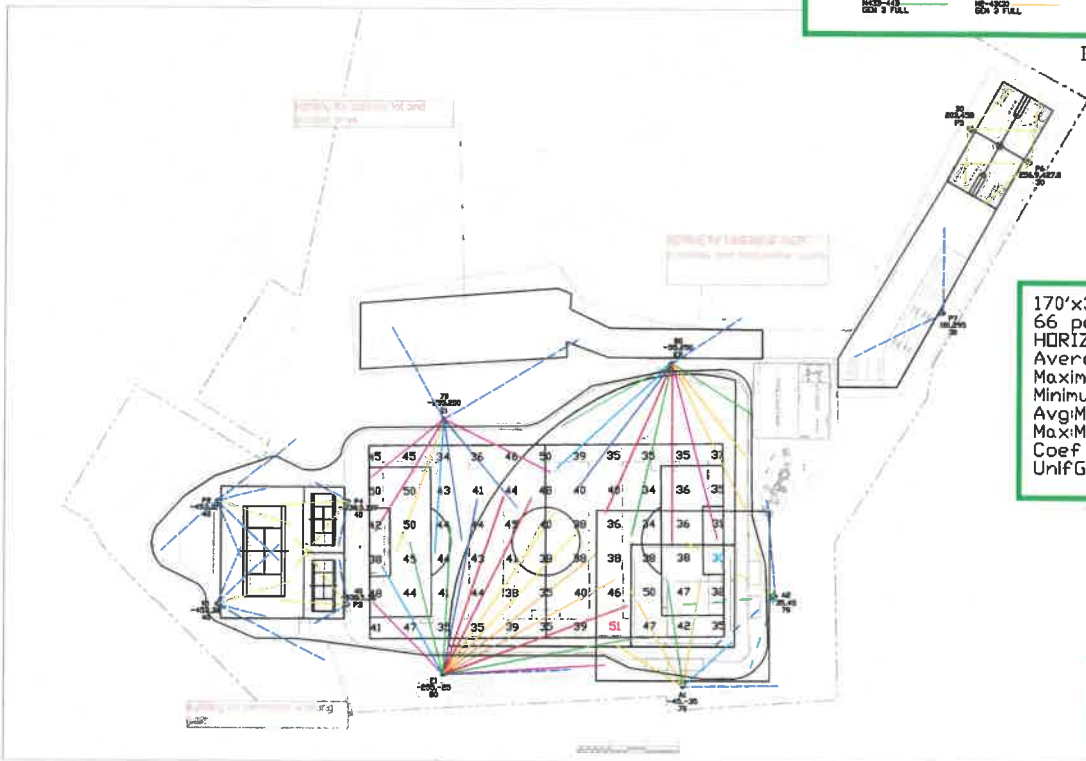
GAMECHANGER[™]

QLED

File	Height	Power	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Total	W
A1	-45	25	70%								1	6
AC	-35	45	70%								1	6
E1	-255	-25	80%	2	3	2	2	1	3	1	1	15
E2	-55	255	80%	1	2	2	2	1	3	1	1	15
P1	-25	26	40%								1	4
P2	-25	27	40%								1	4
P3	-255	26	40%							1	4	5
P4	-255	27	40%							1	4	5
P5	255	26	40%							1	4	5
P6	255	27	40%							1	4	5
P7	181	255	30%							2	8	13
P8	-181	255	30%							2	8	13
Total												74

M45-445 GEN 3 FULL
 M45-445 GEN 3 FULL
 M45-445 GEN 3 FULL
 M45-445 GEN 3 FULL
 M45-445 GEN 3 SMALL

DASHED BEAMS ARE TURNED OFF



170'x310' Soccer Field
 66 points at z=3, sp 30ft by 30ft
HORIZONTAL FOOTCANDLES
 Average 41
 Maximum 51
 Minimum 30
 Avg:Min 1.35
 Max:Min 1.70
 Coef Var 0.13
 UnifGrad 1.47



GC-1200W/600W/C-1	QL-22248D2-B
LOWER HAMILTON PARK - SOCCER FIELD	
PITTSBURGH, PA	
LD	1"=125' 1/10/2023 2 OF 4

THIS INFORMATION IS CONFIDENTIAL AND PROPRIETARY TO QUALITE SPORTS LIGHTING LLC AND IS NOT TO BE REVEALED OR DISTRIBUTED TO OTHERS WITHOUT THE PERMISSION OF QUALITE SPORTS LIGHTING LLC. OR USED IN ANY MANNER DETRIMENTAL TO THE INTEREST OF QUALITE SPORTS LIGHTING LLC.

GUARANTEE IS BASED ON PROPER INSTALLATION, MINIMUM INPUT VOLTAGES, MOUNTING HEIGHT +/- 3 FEET, AND POLES PLACED WITHIN 4 FEET OF SPECIFIED LOCATIONS. POLES TO COMPLY WITH CURRENT AASHTO STANDARDS

WWW.QUALITE.COM



BO 47

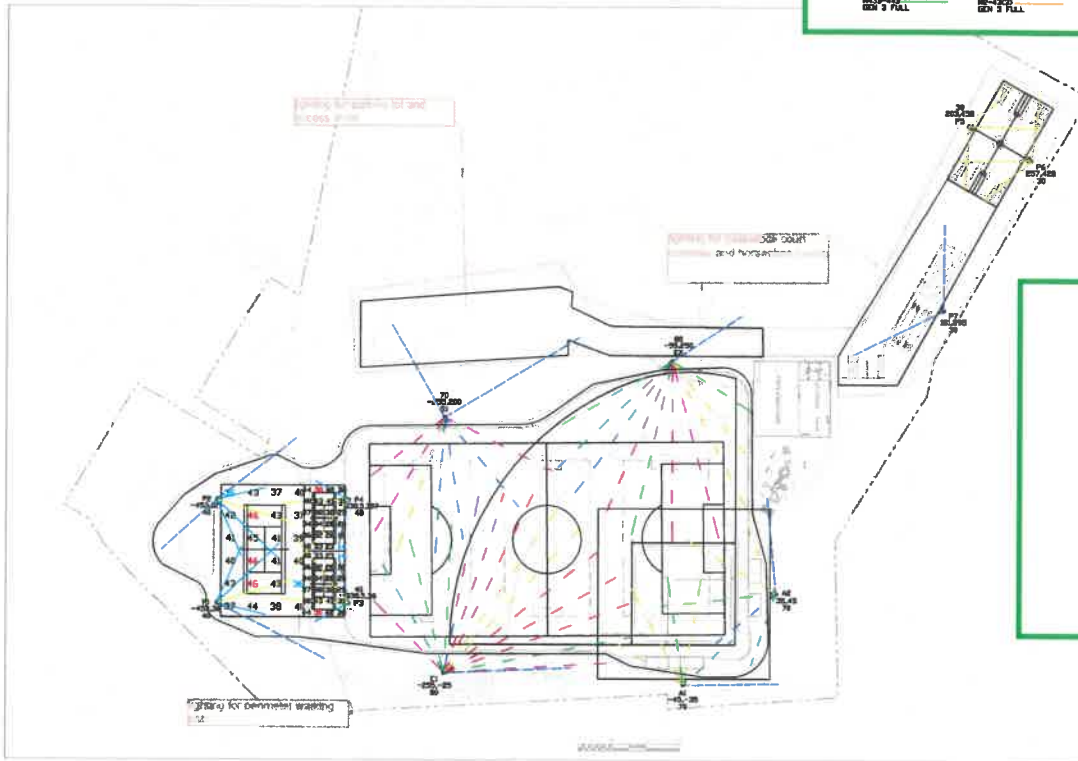
GAMECHANGER[™]

QLED

Fix	Height	Power	Beam	MC	MC-2	MC-2-D	MC-3	MC-3S	MC-3-L	MC-3-L	MC-3-L	MC-3-L	MC-3-L	Total	Fix
A1	41	25	70%											1	6
A2	30	40	70%											1	6
E1	425	25	80%	2	3	2	2	1	1	1	1	1	1	1	13
E2	425	25	80%	1	2	2	2	1	1	1	1	1	1	1	13
F1	425	26	80%											1	4
F2	425	27	80%											1	2
F3	425	26	80%											1	2
F4	425	27	80%											1	2
F5	425	28	80%											1	2
F6	425	28	80%											1	2
F7	425	29	80%											1	2
F8	425	29	80%											1	2
Total				2	3	2	2	1	1	1	1	1	1	1	13

MC-3 GEN 3 FULL
 MC-3S GEN 3 FULL
 MC-3-L GEN 3 FULL
 MC-3-L GEN 3 SMALL
 MC-3-L GEN 3 SMALL

DASHED BEAMS ARE TURNED OFF



Tennis	
24 points at z=3, sp 20ft by 20ft	
HORIZONTAL FOOTCANDLES	
Average	41
Maximum	46
Minimum	36
AvgMin	1.14
Maximum	1.28
Coef Var	0.08
UnifGrad	1.19
Pickleball #1	
24 points at z=3, sp 10ft by 10ft	
HORIZONTAL FOOTCANDLES	
Average	33
Maximum	50
Minimum	14
AvgMin	2.25
Maximum	3.57
Coef Var	0.26
UnifGrad	1.64
Pickleball #2	
24 points at z=3, sp 10ft by 10ft	
HORIZONTAL FOOTCANDLES	
Average	33
Maximum	50
Minimum	14
AvgMin	2.25
Maximum	3.57
Coef Var	0.26
UnifGrad	1.64

Qualite
SPORTS LIGHTING, LLC

GC-1200W/600V/C-1	QL-2248D2-C
LOWER HAMILTON PARK - TENNIS/PICKLEBALL	
PITTSBURGH, PA	
LD	1"=125' 1/10/2023 3 OF 4

THIS INFORMATION IS CONFIDENTIAL AND PROPRIETARY TO QUALITE SPORTS LIGHTING LLC AND IS NOT TO BE REVEALED OR DISTRIBUTED TO OTHERS WITHOUT THE PERMISSION OF QUALITE SPORTS LIGHTING LLC. OR USED IN ANY MANNER DETRIMENTAL TO THE INTEREST OF QUALITE SPORTS LIGHTING LLC.

GUARANTEE IS BASED ON PROPER INSTALLATION, MINIMUM INPUT VOLTAGES, MOUNTING HEIGHT 4-3 FEET, AND POLES PLACED WITHIN 4 FEET OF SPECIFIED LOCATIONS. POLES TO COMPLY WITH CURRENT AASHTO STANDARDS

WWW.QUALITE.COM



BO 48

GAMECHANGER[®]

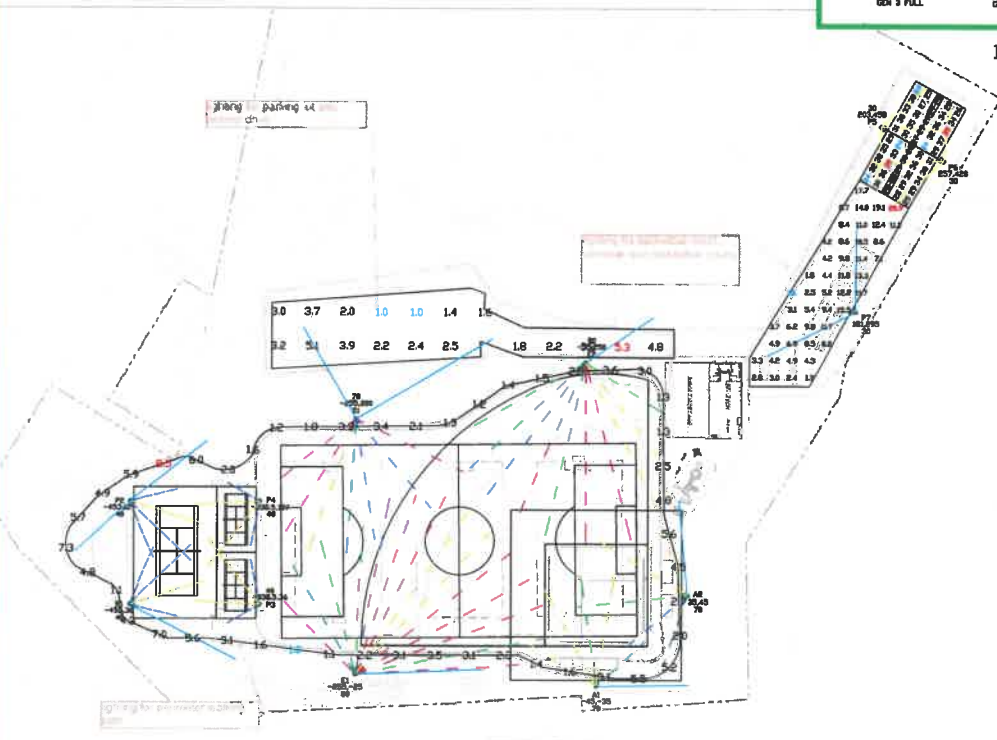
QLED

Fix	Code	F-Code	Height	W	H	HC-12	HC-12C	HC-20	HC-20C	HC-30	HC-30C	HC-40	HC-40C	HC-50	HC-50C	HC-60	HC-60C	HC-70	HC-70C	Total	W	
A1	-14	45	70ft																			72
A2	-31	45	70ft																			188
E1	-325	-25	60ft	2	3	2	2	1	1	1												137
E2	-40	250	60ft	1	2																	23
F1	-139	36	40ft																			39
F2	-138	27	40ft																			26
F3	-208.2	36	40ft																			26
F4	-208.2	27	40ft																			26
F5	22	428	30ft																			13
F6	227	428	30ft																			13
F7	30	270	30ft																			13
F8	-222	270	30ft																			13
TOTAL																						723

— HC-30 GEN 3 FULL
 — HC-40C GEN 3 FULL
 — HC-50 GEN 3 FULL
 — HC-60C GEN 3 FULL
 — HC-70 GEN 3 FULL
 — HC-80C GEN 3 SMALL
 — HC-90 GEN 3 SMALL
 — HC-100 GEN 3 SMALL

DASHED BEAMS ARE TURNED OFF

- Basketball**
50 points at z=3, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 31
Maximum 39
Minimum 24
AvgMin 1.28
MaxMin 1.62
Coef Var 0.14
UnifGrad 1.38
- Horseshoe / Cornhole Area**
46 points at z=0, sp 15ft by 15ft
HORIZONTAL FOOTCANDLES
Average 8.1
Maximum 20.9
Minimum 1.6
AvgMin 5.06
MaxMin 13.06
Coef Var 0.59
UnifGrad 2.68
- Parking Lot**
18 points at z=0, sp 30ft by 30ft
HORIZONTAL FOOTCANDLES
Average 2.8
Maximum 5.3
Minimum 1.0
AvgMin 2.79
MaxMin 5.30
Coef Var 0.47
UnifGrad 2.76
- Walking Path**
47 points
HORIZONTAL FOOTCANDLES
Average 3.3
Maximum 8.5
Minimum 1.0
AvgMin 3.27
MaxMin 8.50
Coef Var 0.58



THIS INFORMATION IS CONFIDENTIAL AND PROPRIETARY TO QUALITE SPORTS LIGHTING LLC AND IS NOT TO BE REVEALED OR DISTRIBUTED TO OTHERS WITHOUT THE PERMISSION OF QUALITE SPORTS LIGHTING LLC. OR USED IN ANY MANNER DETRIMENTAL TO THE INTEREST OF QUALITE SPORTS LIGHTING LLC.

GUARANTEE IS BASED ON PROPER INSTALLATION, MINIMUM INPUT VOLTAGES, MOUNTING HEIGHT +/- 3 FEET, AND POLES PLACED WITHIN 4 FEET OF SPECIFIED LOCATIONS. POLES TO COMPLY WITH CURRENT IASHTO STANDARDS

WWW.QUALITE.COM



Qualite
SPORTS LIGHTING, LLC

GC-1200W/600W/C-1 QL-22248D2-D

LOWER HAMILTON PARK - BASKETBALL / WALKING PATH / PARKING

PITTSBURGH, PA

LD	1"-125'	1/10/2023	4 OF 4
----	---------	-----------	--------

B0 49



Project: Lower Hamilton Park
Date: 4/18/2023
Location: Pennsylvania
QL#: 22248D2 SF7671



COSTARS-014-E22-262

Quotation

Qualite Lighting GAMECHANGER™ Q-LED System Price, As Detailed Below
Sales tax is not included as part of this quotation.

\$ 627,233

- Lower Hamilton Park - Pittsburgh, PA**
- Baseball Field Lighting 51/33 Average FootCandles
- Soccer Field Lighting 41 Average FootCandles
- Tennis Court Lighting 42 Average FootCandles
- Pickleball Court (2) Lighting 45 Average FootCandles
- Basektball Court Lighting 31 Average FootCandles
- Horseshoe/Cornhole Lighting 8.1 Average FootCandles
- Parking Lot Lighting 2.8 Average FootCandles
- Walking Path Lighting 3.3 Average FootCandles
- Q-LED GameChanger, Turn-key Installation**

Early Payment Discount
 (50% payment at time of PO) **-\$22,736**

\$604,497

Assumed to have commercial power to a 400AMP meter located within 100' of the concession area.
A stamped engineered electrical drawing is not included.
Includes conduit, wire, electrical boxes, misc. material, trenching, permits, equipment, overhead and labor to energize 12 sports lighting poles.

System Includes

- 1 - GameChanger Gen 3 Full fixtures pre-aimed, pre-wired and fully assembled on light stanchion. UL-Listed driver/distribution cabinet - containing a surge protector and power line filter - that is fully-assembled, fully-wired and to be mounted 10' above grade.
(10F - 10 Fixtures) One on pole E2
- 2 - GameChanger Gen 3 Full fixtures pre-aimed, pre-wired and fully assembled on light stanchion. UL-Listed driver/distribution cabinet - containing a surge protector and power line filter - that is fully-assembled, fully-wired and to be mounted 10' above grade.
(7F - 5 Fixtures) One on poles A1 and A2
- 3 - GameChanger Gen 3 Full fixtures pre-aimed, pre-wired and fully assembled on light stanchion. UL-Listed driver/distribution cabinet - containing a surge protector and power line filter - that is fully-assembled, fully-wired and to be mounted 10' above grade.
(7F - 7 Fixtures) Two on pole E1 and one on pole S1
- 4 - GameChanger Gen 3 Small fixtures pre-aimed, pre-wired and fully assembled on light stanchion. UL-Listed driver/distribution cabinet - containing a surge protector and power line filter - that is fully-assembled, fully-wired and to be mounted 10' above grade.
(4F - 4 Fixtures) One on pole P1, P2, P3 and P4
- 7 - GameChanger Gen 3 Small fixture pre-aimed, pre-wired and fully assembled on light stanchion. UL-Listed driver/distribution cabinet - containing a surge protector and power line filter - that is fully-assembled, fully-wired and to be mounted 10' above grade.
(1F - 1 Fixture) One on poles A1, A2, E1, E2, P1, P5 and P6
- 5 - GameChanger Gen 3 Small fixtures pre-aimed, pre-wired and fully assembled on light stanchion. UL-Listed driver/distribution cabinet - containing a surge protector and power line filter - that is fully-assembled, fully-wired and to be mounted 10' above grade.
(2F - 2 Fixtures) One on poles P2, P5, P6, P7 and S1
- 5 - On/Off GameChanger™ Switch
- 2 - Q-LED Wireless Controls: DLC-Listed; verified and approved by SSL Labs; and UL2900-01-Listed; first networked lighting control system listed for Cyber security. Download the Lightcloud app from Google Play or the App Store
- 1 - The QLED GameChanger™ Silver Dynamic Lighting Package includes two (2) preset scenes: Chaser and Score.
- 1 - Field Audit

BO 50



Project: Lower Hamilton Park
Date: 4/18/2023
Location: Pennsylvania
QL#: 22248D2 SF7671

- 1 - Turnkey Installation With Electrical
 - Turnkey Installation of fixtures and Poles
 - Foundation size to be determined
 - Typical soil/no casing included
 - Proposal includes offloading, assembly and installation of lighting equipment.
 - If geo-tech soil reports are not available from the owner, Qualite can offer these services at an additional cost. If geo-tech is not desirable, the owner will be required to execute a typical soil disclaimer.
 - Foundations priced into this proposal are based off of normal soils. No rock, debris, high water table or impassable materials are included in this cost. If rock or soil that requires casing or mudding is encountered, an additional \$6,500 per pole will be charged. If rocks are encountered, an additional \$500 per foot will be charged.
 - All necessary labor, equipment, insurance and miscellaneous materials are included.
 - Labor is non-union and is based off Fair Labor Rates.
 - Price based on site access sunrise to sundown, 7 days a week, with no work stoppage.
 - Price based off one mobilization.
 - Owner to provide adequate access to site.
 - Due to size and weight of construction equipment, any damage to site due to construction is not included. This includes but is not limited to sod/grass, landscaping, irrigation, curbs, asphalt and concrete.
 - Pole wiring harness and pole disconnects are included and installed under this agreement.
 - No permits, license or utility costs are included.
 - Site electrical, Conduit and distribution panels are included. Power Service Point is assumed to be within 150 feet of the field.
 - Power is assumed to be 480v, 3P, 4W.
 - Pole wiring harness and pole disconnects are included and installed under this agreement.
 - Concrete cutting is not included in the cost.
- 3 - 70' MH 80' OAL Galvanized Steel Direct Embedded Poles, EPA 14, 90 MPH AASTHO 2013. Poles A1,A2,S1
- 1 - 80' MH 90' OAL Galvanized Steel Direct Embedded Poles, EPA 27, 90 MPH AASTHO 2013. Poles E1
- 1 - 80' MH 90' OAL Galvanized Steel Direct Embedded Poles, EPA 18, 90 MPH AASTHO 2013. Poles E2
- 4 - 40' MH 46' OAL Galvanized Steel Direct Embedded Poles, EPA 6, 90 MPH AASTHO 2013. Poles P1-P4
- 3 - 30' MH 35' OAL Galvanized Steel Direct Embedded Poles, EPA 4, 90 MPH AASTHO 2013. Poles P5-P7
- 4 - Foundation Design
- 1 - 25-Year, Maintenance-Free Warranty
- 1 - (\$22,736) - EARLY PAY DISCOUNT AVAILABLE, when 50% deposit is paid at time purchase order is issued to Qualite.

Controls/Warranty/Shortages/Freight Damage/Replacement Parts

- **Controls:** If the invoice is not paid in full in 30 days, the controls will be deactivated and there will be a \$1,900 reactivation fee.
- **Warranty:** Outstanding invoices, in excess of 90 days, shall temporarily void all warranties until invoice is paid in full unless other terms are agreed upon by all parties. Damage or misalignment caused by vandalism, abuse, adverse weather conditions, twisting or improper installation of poles will not be warrantied.
- **Shortages/Freight Damage:** In the event there is a piece shortage or damage at the time of delivery, the Bill of Lading or Freight Receipt must be signed short/damaged or Qualite Sports Lighting, LLC cannot guarantee that parts can be replaced on a no-charge basis. Any hidden shortages will be handled directly from Qualite Sports Lighting, LLC. Hidden shortages must be reported within 10 days, in written form, after receipt of shipment. Replacement parts will be shipped by common carrier only. Expedited delivery is the responsibility of the customer. Qualite Sports Lighting, LLC cannot be responsible for back-charges due to damages, delays, construction schedules, shortages or expedited delivery service.
- **Replacement Parts:** Any damaged or shortage parts will be replaced directly from Qualite Sports Lighting, LLC. Back-charges for locally-purchased replacement parts will not be honored without prior Qualite Sports Lighting, LLC written authorization.

BO 51



Project: Lower Hamilton Park
Date: 4/18/2023
Location: Pennsylvania
QL#: 22248D2 SF7671

Cooperative Purchasing

- **COSTARS:** The Commonwealth of Pennsylvania's Cooperative Purchasing Program. www.costars.state.pa.us. Contract: COSTARS-014-E22-262.
- **TIPS:** The Interlocal Purchasing System. www.tips-usa.com. Contracts: Trades, Labor and Materials (JOC), 170201; Lighting Systems, Parts and Installations, 18060201; and Lighting Systems, Parts and Installations (JOC), 18060202.

Design Disclaimer

- This information is confidential and proprietary to Qualite Sports Lighting, LLC and is not to be revealed or distributed to others without the permission of Qualite Sports Lighting, LLC or used in any manner detrimental to the interest of Qualite Sports Lighting, LLC.
- Guaranteed for the rated life of the lamp within +/- 10% of the light level indicated. Based on the proper installation, voltage +/- 3%, pole placement and mounting height within 3 feet of specified location and height. Poles to comply with current AASTHO Standards.
- Individual points may vary from predictions. Uniformities guaranteed to meet the IESNA's recommendation (unless shown higher due to design criteria).

Quote and Payment Terms/Delivery of Products

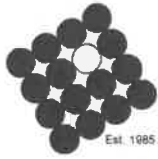
This quote is valid for 30 days.

The price of concrete poles is also good for 90 days, however the price of steel poles is good for 30 days because of changing steel and tariff charges.

Fifty percent (50%) of the purchase price will be required at the time of order placement. Forty percent of the contract balance is due before shipment and the balance is due 30 days from date of the invoice. A late payment fee of 1.5% per month or 18% annual interest will be charged on accounts 30 days or more past due. All invoices are due within payment terms, regardless of construction schedules or other delays, unless prior arrangements have been made in writing. For orders outside the United States of America, payment terms are fifty percent (50%) down in U.S. dollars via wire transfer and balance is to be paid in full prior to shipping. Any order under \$10,000 must be paid in full prior to shipment of products.

Delivery of Qualite Sports Lighting products should be expected eight (8) to ten (10) weeks from signed submittal release unless prior arrangements have been made.

Bo 52



LSSE

Civil Engineers and Surveyors

HEADQUARTERS IN CORAOPOLIS, PENNSYLVANIA

MANAGING PRINCIPALS

Kevin A. Brett, P.E.
Ned Mitrovich, P.E.
Jason E. Stanton, P.E.

May 5, 2023

S. O. No. 253-108

VIA EMAIL ONLY
(kstringent@csboro.org)

Ms. Katie Stringent, Borough Manager
Castle Shannon Borough
3310 McRoberts Road
Castle Shannon, Pennsylvania 15234

Subject: Request for COSTARS Proposal
Contract No. 23-PK6A
Lower Hamilton Park
Trails and Courts Paving

Dear Ms. Stringent:

LSSE has completed a review of the proposals received in response to the Request for Proposal for the construction of turn-key lighting for Lower and Rear Hamilton. One proposal was received (copy is attached) and is summarized below.

Contractor	Base Bid Amount	Alternate No. 1
Keystone Sports Construction	\$313,914.50	\$43,349.12

Base Bid – Lower Hamilton Trails, Courts, and Concrete
Alternate No. 1 – Acrylic Color Coating for Courts

As presented above, Keystone Sports Construction is the apparent low bidder. The work proposed is eligible through procurement through COSTARS Vendor Contract No. 014-E23-312.

As such, based on our review of the proposal received, LSSE recommends that the Base Bid (\$313,914.50) and Alternate No. 1 (\$43,349.12 – Acrylic Color Coating for Courts) for an aggregate total of \$413,014.00.

If acceptable to the Borough, the next step is for the Borough to issue a notice of intent of award in the amount of up to \$413,014.00 to Keystone Sports Construction. The vendor will then initiate the formal Contract procurement process via COSTARS that will include contract, shop drawings and warranty information for execution by the Borough.

BO 53

OFFICES IN: Allegheny, Beaver, Erie and Westmoreland Counties Pennsylvania; Franklin County, Ohio

846 Fourth Avenue Coraopolis, PA 15108 (412) 264-4400 Fax: (412) 264-1200	150 Pleasant Drive, Suite 204 Aliquippa, PA 15001 (412) 264-4400 Fax: (412) 264-1200	10560 Walnut Street Albion, PA 16401 (814) 756-4384 Fax: (814) 756-5638	4534 Route 136, Suite 9 Greensburg, PA 15601 (724) 837-1057 Fax: (412) 264-1200	5980 Wilcox Place, Suite J Dublin, OH 43016 (614) 395-1661
--	---	--	--	--

Ms. Katie Stringent, Borough Manager
Castle Shannon Borough
May 5, 2023
Page 2

Attached is a not-to-scale diagram of the Trails and Courts Paving included in the scope of work for this contract. The magenta color represents court paving, the cyan color represents trail paving while the green color represents the concrete work included in the contract.

Should you have any questions, please contact Joshua R. Callender, E.I.T. directly (Ext. 284).

Sincerely,



Jason E. Stanton, P.E.

JES/als

Attachments

cc/att: Dennis Biondo, Solicitor (drbiondo@aol.com)

BO 54



Turf Field - Paving Proposal

DATE OF PROPOSAL: May 4, 2023 #654835

PREPARED FOR: Castle Shannon Borough
Katie Stringent
3310 McRoberts Rd,
Castle Shannon, PA 15234

PREPARED BY: Keystone Sports Construction
Christopher W. Wright, Managing Member
1100 Schell Ln, Suite 104
Phoenixville, PA 19460

PROJECT ADDRESS: Hamilton Park, Castle Shannon Borough

Keystone Sports Construction is pleased to present the following Proposal. This offer includes supply and installation of various asphalt services for Castle Shannon Borough (hereinafter "OWNER"). Prices are based upon COSTARS Contract (COSTARS-14-E23-312). Pricing herein is inclusive of prevailing wage rates.

WHEREAS, OWNER wishes to have various paving installed at one (1) recreational sports facility generally in keeping with the Scope of Work described herein, and as otherwise may be agreed upon in writing by the parties hereto;

AND WHEREAS, OWNER intends to retain the services of Keystone Sports Construction (hereinafter "KEYSTONE"), for the purposes of installing the paving per the scope below:

THEREFORE, in consideration for the payment of the total purchase price of:

BOSS

Item No.	Item Description	Quantity	Unit	Unit Cost	Item Cost
1	Roadway Milling / Profiling, Variable Depth (4" Average Depth)	2,000	SY	\$ 11.76	\$ 23,529.41
2	6" PennDOT 2A Limestone Subbase Including Preparation of Subgrade and Installation of Class IV Fabric	1,800	SY	\$ 18.82	\$ 33,882.35
3	2.5" Depth Superpave WMA Binder Course, 19mm, 0 to 0.3 million Design ESALS, PG 64-22, Section 411	500	TON	\$ 169.41	\$ 84,705.00
4	1-1/2" Depth, Superpave WMA Wearing Course, 9.5mm, 0 to 0.3 million Design ESALS, PG 64-22, SRL-H, Section 413	1,200	SY	\$ 29.41	\$ 35,294.12
5	1" Depth, Superpave WMA Wearing Course, 6.33mm, 0 To 0.3 Million Design ESALS, PG 76-22, SRL-H, Section 412	2,000	SY	\$ 29.41	\$ 58,823.53
5	Base Repair Including 10" Unclassified Excavation, Class IV Fabric, Installation Of 4" Bituminous Millings And 6" Depth Superpave WMA Base Course, 25mm, 0 To 0.3 Million Design ESALS, Pg 64-22	150	SY	\$ 88.24	\$ 13,235.29
6	Weak Subgrade Repair Including 12" Unclassified Excavation, Class IV Fabric, Installation of 12" Bituminous Millings or PennDOT 2A	120	SY	\$ 76.47	\$ 9,176.47
7	Concrete Sidewalk (4" Depth), Reinforced Including Demolition, Excavation, 4" AASHTO No. 57 Aggregate Subbase	1,400	SF	\$ 23.53	\$ 32,942.00
8	Linestriping - Basketball Court Linestriping (Type II)	1	LS	\$ 7,209.54	\$ 7,209.54
9	Linestriping - Tennis and Pickle Ball Courts (Type II)	1	LS	\$ 15,116.78	\$ 15,116.78
Base Bid Subtotal					\$313,914.50
ALTERNATE NO. 1 - ACRYLIC COLOR COATING					
A-1	Cost Difference to Install Acrylic Color Coating System including Linestriping in Lieu of Bid Item Nos. 8 and 9	2,000	SY	\$ 21.67	\$ 43,349.12
Alternate No. 1 Subtotal					\$43,349.12

BO 56

SCOPE OF WORK

KEYSTONE hereby agrees to supply and install paving per the bid above. KEYSTONE further agrees to install the paving as required, at the work site (hereinafter "Project Site Location"), generally in accordance and as further described within the "Scope of Work" set out below and otherwise in keeping with the terms and conditions of this Proposal, the parties hereto agree as follows;

1) **Demobilization & Post-Completion:**

- a) Inspection/punch list/close out of Project Site Location with OWNER.
- b) Perform site clean-up inclusive of removal of waste materials and deposit same in a dumpster or other receptacle supplied by OWNER.
- c) Demobilize equipment and labor.

2) **Extras:**

- a) Any materials and/or services not expressly included in this Scope of Work, are not included within the Proposal price and if requested to be supplied or performed by OWNER in writing, and agreed to by KEYSTONE, shall be deemed an extra to this Supply and Installation Proposal. Said additional materials and/or services shall be supplied and/or performed at a cost to be agreed by the parties hereto in writing.

3) **Exclusions:**

KEYSTONE has NOT INCLUDED the following items in the Scope of Work and are therefore not reflected in the Proposal price:

- a) Any item not included within the Scope of Work herein
- b) Mobilization and de-mobilization in greater occurrence than the one (1) mobilization anticipated
- c) Survey and layout work beyond the work required to ensure compliance of the installation
- d) Liquidated damages
- e) Engineering or design fees
- f) Permits, fees, licenses
- g) Rock excavation/rock drilling, removal and disposal
- h) Unsuitable soils
- i) Site security demolition of site features not listed in bid form
- j) Haul roads

4) **Special Conditions:**

- a) **INFORMATION AND RESPONSE:** OWNER will promptly respond to all KEYSTONE reasonable requests for information, and in so doing, provide KEYSTONE with full and complete disclosure to ensure project continuity and minimize delays.
- b) **ACCESS:** Once the work commences, KEYSTONE is to have full, direct and easy access and right of way to the Project Site Location. OWNER is responsible to provide clear, stable,

BOST

appropriate and safe access to and from the Project Site Location. A staging area will be made available by the OWNER to KEYSTONE within reasonable proximity to the Project Site Location.

- c) **UNDERGROUND SERVICES OR OBSTRUCTIONS:** OWNER will be solely responsible for all costs associated with removal/relocation of any above ground or underground obstructions such as hazardous materials or any unidentified substances, utilities or services (except those utilities identified by KEYSTONE /OWNER), which will impede or hinder the performance of the Scope of Work or access to the Project Site Location.
- d) **LIGHTING, ELECTRICITY & FACILITIES:** Existing lighting (if required), use of existing permanent electrical power, facility restrooms and access are to be provided and maintained by OWNER for KEYSTONE use during its performance of the Scope of Work at the Project Site Location. All such utilities or facilities will be supplied at no cost to KEYSTONE and will not be the subject of a credit or chargeback to this Supply and Installation Proposal.
- e) **UNION LABOR:** OWNER acknowledges and understands that KEYSTONE is an 'open or merit shop' and as such is a non-unionized company. Further, OWNER acknowledges and understands that KEYSTONE has determined and agreed to the Proposal Price based on this premise. In the event KEYSTONE'S ability to perform its Scope of Work or access to the Project Site Location is impeded by union activity and KEYSTONE is reasonably required to utilize union labor or pay union wage rates to complete the Project or any aspect of it, such additional labor costs incurred by KEYSTONE, if any, shall be at the expense of OWNER and will be deemed to be an approved extra to the Proposal price. KEYSTONE to follow Department of Labor requirements.
- f) **PROPOSAL PRICING:** The Scope of Work and Proposal Pricing herein are valid for a period of Thirty (30) calendar days from the date of this proposal. The price is subject to increase if affected by an increase in freight, raw materials, taxes, levies or any new legally binding imposition affecting the transaction. Negotiations continuing beyond the date and time of expiration shall require the submittal of a separate proposal, at the discretion of Keystone Sports Construction.
- g) **PAYMENT TERMS:**
 - DRAW #1 - 50% of total price due upon signing (inclusive of full bond cost if required).
 - DRAW #2 - 50% upon substantial completion.
- h) **ADVERSE WEATHER DELAY:** shall be quantified, recorded and qualified for any monthly total exceeding normal weather occurrences as recorded by on-site weather data station or closest NOAA Weather Station. Adverse Weather Delays are considered for any weather event that deviates from the normal duration, rate, frequency or other normal as recoded by historic weather data services. Adverse Weather Delays are considered for any 24-hour period that receives greater than 0.1-inch precipitation or when low temperatures are 32° Fahrenheit or below. Delays in excess of normal occurrences shall be submitted for approval and any costs associated with the delay shall be submitted for inclusion in the Proposal by change order. Date of substantial

BOS8

completion shall be adjusted accordingly and based upon the approval of the submitted delay request.

- i) **ACCESS AND EGRESS:** Removal/repair to existing asphalt walks/drives/roads/parking lots. – Damage *caused* to property by KEYSTONE outside the access and egress areas and normal work area around the fields, will be repaired in a proper manner by KEYSTONE. KEYSTONE to provide digital Dropbox folder of entire project start to finish. Walks or drives that are currently damage or risk compromise or damage are not covered by KEYSTONE.
- j) **CONSTRUCTION CONTINGENCY:** It is advised that the OWNER maintain a contingency account throughout the term of the contract. This account should contain liquid funds equal to 10% of the Contract Sum.
- k) **CONFIDENTIALITY:** This proposal contains the confidential and proprietary work product of KEYSTONE SPORTS CONSTRUCTION and should not be shared by you with any third parties other than representatives or advisers retained by you with respect to the subject project.

KEYSTONE SPORTS CONSTRUCTION

Signature: _____

Printed Name: _____

Title: _____

Date: _____

OWNER

Signature: _____

Signature for Bonding: _____

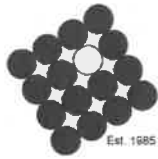
If the above line is not signed, we will not order a payment and performance bond for this project.

Printed Name: _____

Title: _____

Date: _____

3059



LSSE

Civil Engineers and Surveyors

HEADQUARTERS IN CORAOPOLIS, PENNSYLVANIA

MANAGING PRINCIPALS

Kevin A. Brett, P.E.
Ned Mitrovich, P.E.
Jason E. Stanton, P.E.

May 5, 2023
Revised May 19, 2023

S. O. No. 0253-108

VIA EMAIL ONLY
(kstringent@csboro.org)

Ms. Katie Stringent, Borough Manager
Borough of Castle Shannon
3310 McRoberts Road
Castle Shannon, Pennsylvania 15234

Subject: Request for COSTARS Proposal
Contract No. 23-PK7
Lower Hamilton Park – Fencing

Dear Ms. Stringent:

LSSE has completed a review of the proposal received on May 19, 2023 in response to the Request for Proposal for the installation of various fencing within Lower Hamilton Park.

As requested by the Borough, the proposal was revised to eliminate the 4 foot chain link fence around the perimeter of the field. The proposal also now includes screening for the dumpster enclosure. The proposal received (copy attached) is summarized below.

Contractor	Base Bid	Alternate No. 1
Keystone Sports Construction	\$253,161.30	\$9,976.37

Base Bid – Fencing associated with baseball (20' high chain link fence along a portion first and third base lines), pickleball, tennis courts and basketball hoop assemblies and removable bollards.

Alternate No. 1 – 10' Chain Link Fence with 10' Netting Above in lieu of 20' Chain Link Fence

As presented above, Keystone Sports Construction is the apparent low bidder. The work proposed is eligible through procurement through COSTARS Vendor Contract No. 014-E23-312.

Based upon our review of the proposal received, LSSE recommends award of the Base Bid in the amount of \$253,161.30 to Keystone Sports Construction.

BO 60

OFFICES IN: Allegheny, Beaver, Erie and Westmoreland Counties Pennsylvania; Franklin County, Ohio

846 Fourth Avenue Coraopolis, PA 15108 (412) 264-4400 Fax: (412) 264-1200	150 Pleasant Drive, Suite 204 Aliquippa, PA 15001 (412) 264-4400 Fax: (412) 264-1200	10560 Walnut Street Albion, PA 16401 (814) 756-4384 Fax: (814) 756-5638	4534 Route 136, Suite 9 Greensburg, PA 15601 (724) 837-1057 Fax: (412) 264-1200	5980 Wilcox Place, Suite J Dublin, OH 43016 (614) 395-1661
--	---	--	--	--

Ms. Katie Stringent, Borough Manager
Borough of Castle Shannon
May 5, 2023
Revised May 19, 2023
Page 2

An exhibit drawing is attached that provides a color coding of the proposed fencing in this contract.

If acceptable to the Borough, the next step is for the Borough to issue a notice of intent of award of the Base Bid in the amount of up to \$253,161.30 to Keystone Sports Construction. The vendor will then initiate the formal Contract Procurement process via COSTARS that will include contract, shop drawings and warranty information for execution by the Borough.

If 10' chain link and 10' sports netting is preferred along a portion of the first and third base line, Alternate No. 1 (\$9,976.37) would need added to the awarded total.

Should you have any questions, please contact Joshua R. Callender, E.I.T. directly (Ext. 284).

Sincerely,



Jason E. Stanton, P.E.

JES/nlk

Attachments

cc/att: Dennis Biondo, Solicitor (drbiondo@aol.com)

B0 61

Turf Field - Fence Proposal

DATE OF PROPOSAL: May 19, 2023 #654831

PREPARED FOR: Castle Shannon Borough
Katie Stringent
3310 McRoberts Rd,
Castle Shannon, PA 15234

PREPARED BY: Keystone Sports Construction
Christopher W. Wright, Managing Member
1100 Schell Ln, Suite 104
Phoenixville, PA 19460

PROJECT ADDRESS: Hamilton Park, Castle Shannon Borough

Keystone Sports Construction is pleased to present the following Proposal. This offer includes supply and installation of chain link fence for Castle Shannon Borough (hereinafter "OWNER"). Prices are based upon COSTARS Contract (COSTARS-14-E23-312). Pricing herein is inclusive of prevailing wage rates.

WHEREAS, OWNER wishes to have various fencing installed at one (1) recreational sports facility generally in keeping with the Scope of Work described herein, and as otherwise may be agreed upon in writing by the parties hereto;

AND WHEREAS, OWNER intends to retain the services of Keystone Sports Construction (hereinafter "KEYSTONE"), for the purposes of installing the recreational Sports Netting System as described herein;

THEREFORE, in consideration for the payment of the total purchase price of:

BO led

BASE SCOPE OF WORK			
Item	Description	Quantity	Units
A Fencing			
1	Provide and install 4' high black chain link fence with 2" mesh, 8ga wire, 1-5/8" top and bottom rail, 3" terminal and gate posts, 2-1/2" line posts, (3) 4' opening gates and (1) 8' opening gate (included sleeve-it material for fence behind wall, to be installed by others)	524	LF
2	Provide and install 8' high black chain link fence with 2" mesh and privacy slats for dumpster enclosure. Price includes (1) 12' wide double opening gate	50	LF
3	Provide and install 12' high black chain link fence with 1-3/4" mesh, 8ga wire, 1-5/8" top/middle/bottom rails, 4" terminal and gate posts, 3" line posts, (7) 4' opening gates	601	LF
4	Provide and install 20' high black chain link fence with 2" mesh, 8ga wire, 1-5/8" top/middle/bottom rails, 6-5/8" terminal posts, 4" line posts, (2) 4' opening gates	346	LF
5	Provide and install Basketball poles/backboards/rims - Bison BA871XL-BK	2	EA
6	Provide and install removable bollards	4	EA
Total Fencing Cost			\$ 253,161.30
B Alternate			
1	Alternate ADD for combination 10' black chain link fence backstop with 10' Sportsfield Specialties netting above. Price includes Stormguard 20' aluminum poles - 346 LF		\$9,976.37

SCOPE OF WORK

KEYSTONE hereby agrees to supply and install the Fence system, concrete footings and hardware. KEYSTONE further agrees to install the fence as required, at the work site (hereinafter "Project Site Location"), generally in accordance and as further described within the "Scope of Work" set out below and otherwise in keeping with the terms and conditions of this Proposal, the parties hereto agree as follows;

1) Demobilization & Post-Completion:

- a) Inspection/punch list/close out of Project Site Location with OWNER.
- b) Perform site clean-up inclusive of removal of waste materials and deposit same in a dumpster or other receptacle supplied by OWNER.
- c) Demobilize equipment and labor.

2) Extras:

- a) Any materials and/or services not expressly included in this Scope of Work, are not included within the Proposal price and if requested to be supplied or performed by OWNER in writing, and agreed to by KEYSTONE, shall be deemed an extra to this Supply and Installation Proposal. Said additional materials and/or services shall be supplied and/or performed at a cost to be agreed by the parties hereto in writing.

3) Exclusions:

KEYSTONE has NOT INCLUDED the following items in the Scope of Work and are therefore not reflected in the Proposal price:

BO 63

- a) Any item not included within the Scope of Work herein
- b) Mobilization and de-mobilization in greater occurrence than the one (1) mobilization anticipated
- c) Survey and layout work beyond the work required to ensure compliance of the installation
- d) Liquidated damages
- e) Engineering or design fees
- f) Permits, fees, licenses
- g) Rock excavation/rock drilling, removal and disposal
- h) Unsuitable soils
- i) Site security
- j) Sleeve-its behind wall installation
- k) Fence within curb. All fence to be located behind curb
- l) Core drilling of fence posts in asphalt or concrete
- m) Windscreen or safety topper
- n) 4' fence around field
- o) Concrete pad or bollards for dumpster enclosure

4) Special Conditions:

- a) **INFORMATION AND RESPONSE:** OWNER will promptly respond to all KEYSTONE reasonable requests for information, and in so doing, provide KEYSTONE with full and complete disclosure to ensure project continuity and minimize delays.
- b) **ACCESS:** Once the work commences, KEYSTONE is to have full, direct and easy access and right of way to the Project Site Location. OWNER is responsible to provide clear, stable, appropriate and safe access to and from the Project Site Location. A staging area will be made available by the OWNER to KEYSTONE within reasonable proximity to the Project Site Location.
- c) **UNDERGROUND SERVICES OR OBSTRUCTIONS:** OWNER will be solely responsible for all costs associated with removal/relocation of any above ground or underground obstructions such as hazardous materials or any unidentified substances, utilities or services (except those utilities identified by KEYSTONE /OWNER), which will impede or hinder the performance of the Scope of Work or access to the Project Site Location.
- d) **LIGHTING, ELECTRICITY & FACILITIES:** Existing lighting (if required), use of existing permanent electrical power, facility restrooms and access are to be provided and maintained by OWNER for KEYSTONE use during its performance of the Scope of Work at the Project Site Location. All such utilities or facilities will be supplied at no cost to KEYSTONE and will not be the subject of a credit or chargeback to this Supply and Installation Proposal.
- e) **UNION LABOR:** OWNER acknowledges and understands that KEYSTONE is an 'open or merit shop' and as such is a non-unionized company. Further, OWNER acknowledges and understands that KEYSTONE has determined and agreed to the Proposal Price based on this premise. In the event KEYSTONE'S ability to perform its Scope of Work or access to the Project Site Location is impeded by union activity and KEYSTONE is reasonably required to utilize union labor or pay union wage rates to complete the Project or any aspect of it, such additional

BO 64

labor costs incurred by KEYSTONE, if any, shall be at the expense of OWNER and will be deemed to be an approved extra to the Proposal price. KEYSTONE to follow Department of Labor requirements.

- f) PROPOSAL PRICING: The Scope of Work and Proposal Pricing herein are valid for a period of Thirty (30) calendar days from the date of this proposal. The price is subject to increase if affected by an increase in freight, raw materials, taxes, levies or any new legally binding imposition affecting the transaction. Negotiations continuing beyond the date and time of expiration shall require the submittal of a separate proposal, at the discretion of Keystone Sports Construction.
- g) PAYMENT TERMS:
 - DRAW #1 - 50% of total price due upon signing (inclusive of full bond cost if required).
 - DRAW #2 - 50% upon substantial completion.
- h) ADVERSE WEATHER DELAY: shall be quantified, recorded and qualified for any monthly total exceeding normal weather occurrences as recorded by on-site weather data station or closest NOAA Weather Station. Adverse Weather Delays are considered for any weather event that deviates from the normal duration, rate, frequency or other normal as recoded by historic weather data services. Adverse Weather Delays are considered for any 24-hour period that receives greater than 0.1-inch precipitation or when low temperatures are 32° Fahrenheit or below. Delays in excess of normal occurrences shall be submitted for approval and any costs associated with the delay shall be submitted for inclusion in the Proposal by change order. Date of substantial completion shall be adjusted accordingly and based upon the approval of the submitted delay request.
- i) ACCESS AND EGRESS: Removal/repair to existing asphalt walks/drives/roads/parking lots. – Damage caused to property by KEYSTONE outside the access and egress areas and normal work area around the fields, will be repaired in a proper manner by KEYSTONE. KEYSTONE to provide digital Dropbox folder of entire project start to finish. Walks or drives that are currently damage or risk compromise or damage are not covered by KEYSTONE.
- j) CONSTRUCTION CONTINGECY: It is advised that the OWNER maintain a contingency account throughout the term of the contract. This account should contain liquid funds equal to 10% of the Contract Sum.
- k) CONFIDENTIALITY: This proposal contains the confidential and proprietary work product of KEYSTONE SPORTS CONSTRUCTION and should not be shared by you with any third parties other than representatives or advisers retained by you with respect to the subject project.

19065



KEYSTONE SPORTS CONSTRUCTION

Signature: _____

Printed Name: _____

Title: _____

Date: _____

OWNER

Signature: _____

Signature for Bonding: _____

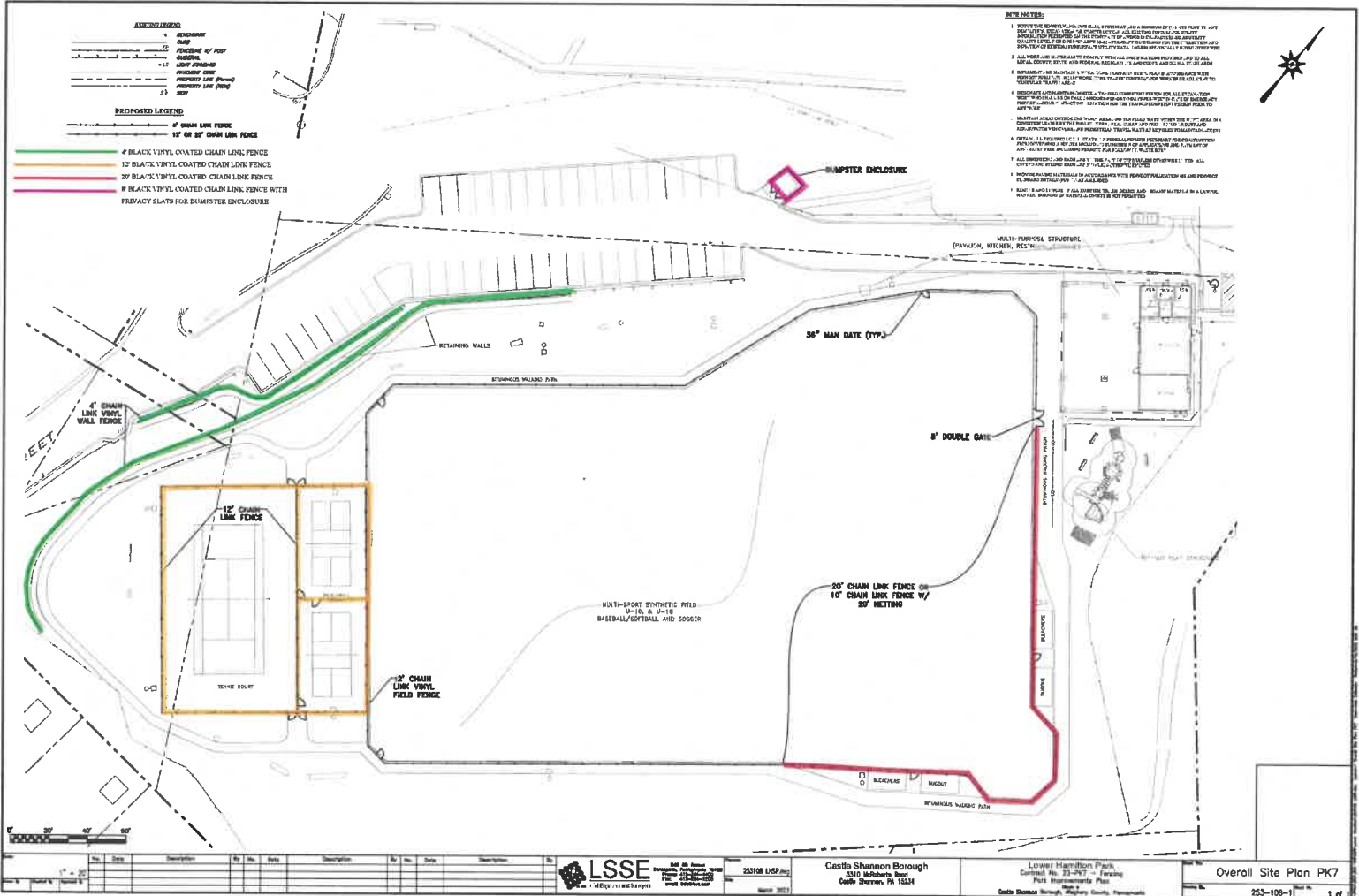
If the above line is not signed, we will not order a payment and performance bond for this project.

Printed Name: _____

Title: _____

Date: _____

BO 66



BO 67

Castle Shannon Civil Service Commission

Memorandum

TO: Mayor Baumgarten
Borough Council
Borough Manager
Police Chief Truver
CSCSC Members
CSCSC File

DATE: May 17, 2023

Attached for your review, please find the Meeting Minutes and actions of the Civil Service Commission from our meeting held on May 15, 2023.

Thank you,

Laurie Miller

Laurie Miller
Castle Shannon Civil Service Commission
Recording Secretary

CSC 1

**Castle Shannon Borough
Civil Service Commission
Meeting Minutes – May 15, 2023**

Meeting called to order at 1800 hours by Chairman Paul Coffey.

I. Roll Call

Present: Paul Coffey, Robert Myers, Laurie Miller, Police Chief Truver

II. Approval of the minutes from the previous CSCSC meeting of January 18, 2023.

III. Unfinished Business - None

IV. Hearing of New Cases – None

V. New Business

A Motion was made by Robert Myers to approve the proposal to extend the Sergeant Promotion eligibility list from May 2022 for one year to May 23, 2024, pursuant to Article V, §503. Motion was seconded by Laurie Miller and the vote was unanimous.

A Motion was made by Robert Myers to approve the proposal to amend the Castle Shannon Rules allowing for tattoos, so long as they can be covered while the employee is in uniform, pursuant to Article III, §305(e). Motion was seconded by Laurie Miller and the vote was unanimous.

VI. Communications and Reports - None

VII. Adjournment

Motion to adjourn at 1815 hours by Paul Coffey, seconded by Laurie Miller.

Submitted by,



Laurie Miller

Castle Shannon Civil Service Commission

Recording Secretary

cc: Mayor Baumgarten
Council
Borough Manager
Police Chief
Commission File

CSC 2

CASTLE SHANNON POLICE DEPARTMENT
FINES AND FEES REPORT

MONTH OF April 2023

District Court Fines \$ 3,022.81

District Attorney Fines \$ 1,178.51

Parking Citations \$ 335.00

Report Fees \$ 60.00

Solicitor Permits \$ 00.00

Animal Control Fines \$ 00.00

Pawn Broker's License \$ 00.00

Pawn Outstanding \$ 00.00


Alarm Fines Received \$ 00.00

Alarms Billed \$ 00.00

Alarms Outstanding \$ 00.00

Special Services

From:



Chief Kenneth Truver

PSF 1



Castle Shannon Police 2023 DJ Fines

DATE	State	Alleg. Co DA (DUI)	DJ -05-2-17
JAN		\$523.61	\$4,072.55
FEB		\$1,055.12	\$3,296.19
MAR		\$993.95	\$5,714.28
APR		\$1,178.51	\$3,022.81
MAY			
JUN			
JUL			
AUG			
SEPT			
OCT			
NOV			
DEC			
	\$0.00	\$3,751.19	\$16,105.83


Kenneth M. Truver, Chief of Police

PSF 2



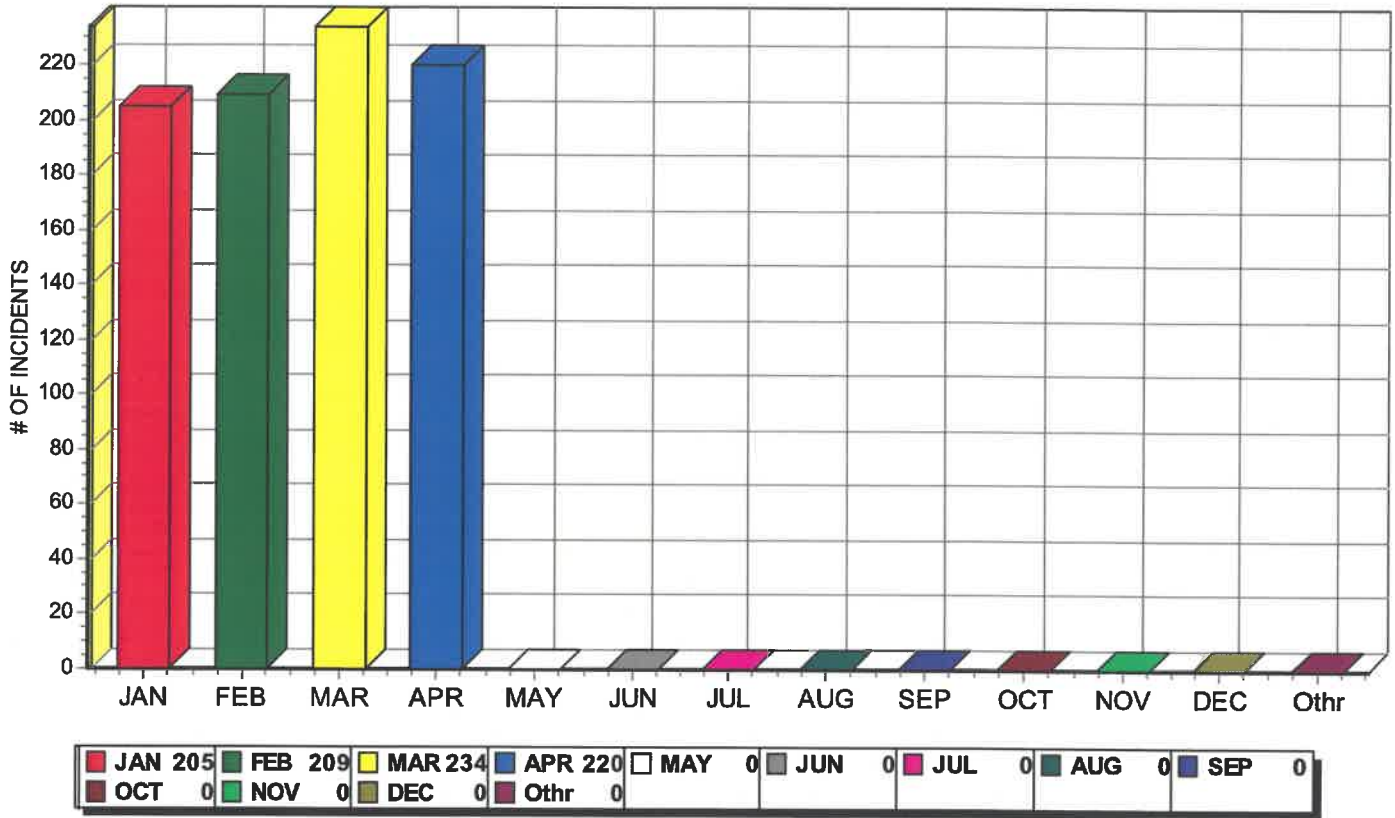
Castle Shannon Police 2023 DJ Fines

DATE	State	Alleg. Co DA (DUI)	DJ -05-2-17
JAN		\$523.61	\$4,072.55
FEB		\$1,055.12	\$3,296.19
MAR		\$993.95	\$5,714.28
APR			\$3,022.81
MAY			
JUN			
JUL			
AUG			
SEPT			
OCT			
NOV			
DEC			
	\$0.00	\$2,572.68	\$16,105.83

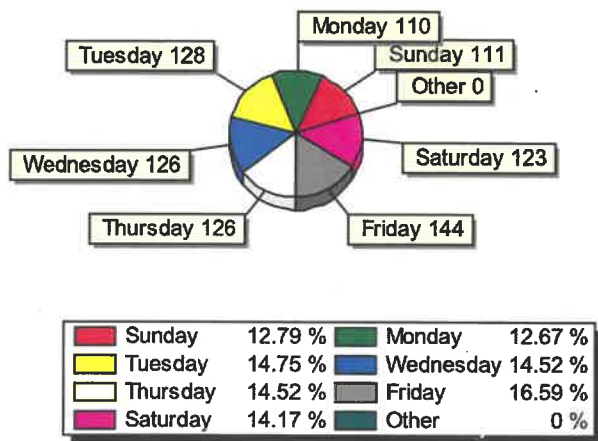

Kenneth M. Truver, Chief of Police

PSF 3

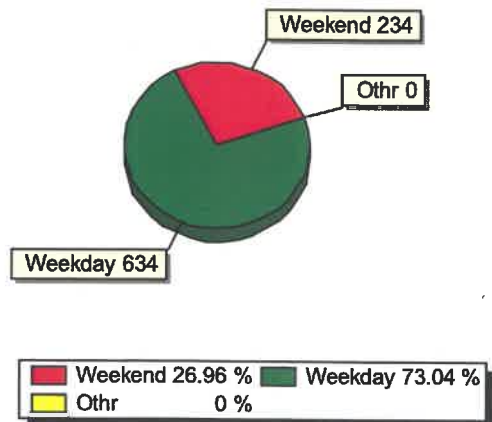
Incident Frequency by Month (Using DATE RECD)



By Day of Week



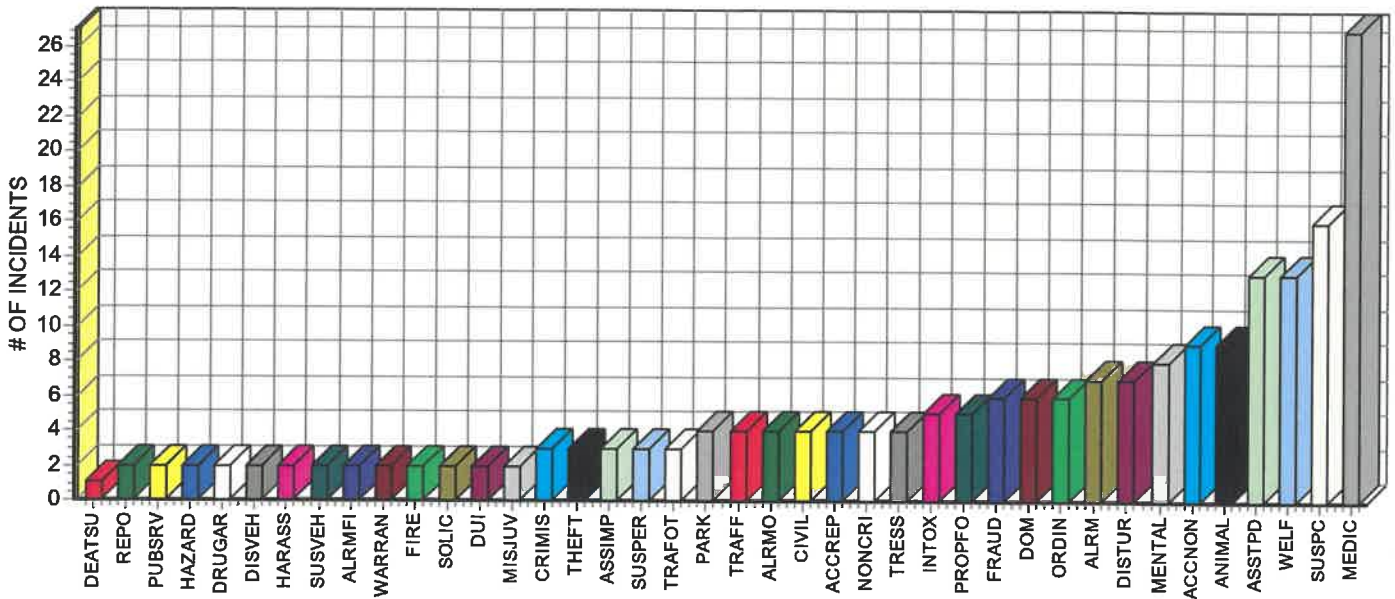
Weekday vs Weekend



Search Criteria: (DATE_RECD >= TO_DATE('1/1/2023','MM/DD/YYYY'))
 (DATE_RECD <= TO_DATE('4/30/2023','MM/DD/YYYY'))

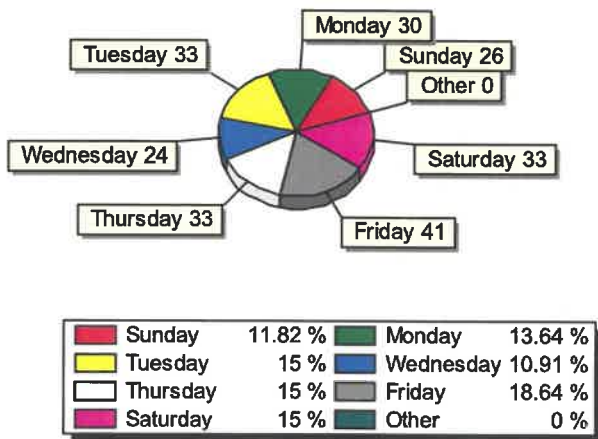
PSF 4

Incident Frequency by TYPE (Top 40 of 53 Shown) (Using DATE RECD)

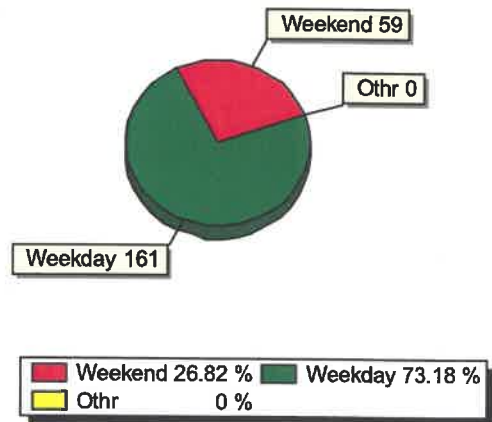


DEATSU 1	REPO 2	PUBSRV 2	HAZARD 2	DRUGAR 2	DISVEH 2	HARASS 2
SUSVEH 2	ALRMFI 2	WARRAN 2	FIRE 2	SOLIC 2	DUI 2	MISJUV 2
CRIMIS 3	THEFT 3	ASSIMP 3	SUSPER 3	TRAFOT 3	PARK 4	TRAFF 4
ALRMO 4	CIVIL 4	ACCREP 4	NONCRI 4	TRESS 4	INTOX 5	PROPFO 5
FRAUD 6	DOM 6	ORDIN 6	ALRM 7	DISTUR 7	MENTAL 8	ACCNON 9
ANIMAL 9	ASSTPD 13	WELF 13	SUSPC 16	MEDIC 27		

By Day of Week



Weekday vs Weekend



Search Criteria: (DATE_RECD >= TO_DATE('4/1/2023','MM/DD/YYYY'))
 (DATE_RECD <= TO_DATE('4/30/2023','MM/DD/YYYY'))

PSFS



Castle Shannon Police Department Vehicle Maintenance Report
April 2023

Car	Year	Make/Model	Type/Use	VIN / PLATE	Mileage Start	Mileage End	Total Miles	Gals Fuel	Fuel Cost	CPG	MPG	Individual Maint.	Notes	Total Main. per Car	
70	2022	Ford SUV	SUV	1FM5K8AB0NGA27076	10135	11364	1229	148.290	\$565.30	\$3.81	8.29			-	
		Interceptor	Marked Patrol	MG9551M											
73	2021	Ford SUV	SUV	1FMJU1GT7ME59453	8243	8834	591	150.555	\$574.66	\$3.82	3.93			-	
		Expedition	Marked MCSAP	MG7645M											
74	2017	Ford SEDAN	SEDAN	1FAHP2MKG108709	39958	40103	145	10.771	\$42.00	\$3.90	13.46			-	
		Taurus	Unmarked	MG9629J											
75	2020	Ford SUV	SUV	1FM5K8AB1LGA84027	36216	37868	1652	161.959	\$616.33	\$3.81	10.20	716.96	front & rear brakes, rotors & pads - oil - tire rotation	716.96	
		Explorer	Ghost Marked	MG2600L											
76	2019	Ford SUV	SUV	1FM5K8ARXXGA62233	71616	71705	89	65.170	\$247.53	\$3.80	1.37			-	
		Explorer	Marked Patrol	MG9428K											
77	2020	Ford SUV	SUV	1FM5K8ABXLGA20133	45333	46732	1399	139.673	\$535.70	\$3.84	10.02			-	
		Explorer	Marked Patrol	MG2661L											
78	2020	Ford SUV	SUV	1FM5K8AW0LGC48712	31368	33127	1759	53.703	\$204.45	\$3.81	32.75			-	
		Explorer	Unmarked Admin	LJP9595											
79	2020	Ford SUV	SUV	1FM5K8AB0LGA84021	47728	48792	1064	95.033	\$362.78	\$3.82	11.20			-	
		Explorer	K9	MG2613L											
									Total Fuel	\$3,148.75			716.96	Total Maintenance	716.96

YTD FUEL COST \$14,379.42

\$ 1,961.17 YTD MAINTENANCE COST

PSF 6

Kenneth M. Truver, Chief of Police

Prepared for: , Castle Shannon

2023 Ford Police Interceptor Utility AWD

Based on COSTARS 13-E22-220

Key Code 1284x

2023 Police Interceptor Utility AWD Base (K8A)

Price Level: 320



Client Proposal

Prepared by:

William Bauer

Office: 412-279-4551

Quote ID: CSB-59B

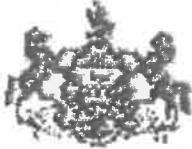

Date: 09/19/2022

PSF 7



Woltz & Wind Ford, Inc. | 2100 Washington Pike, Heidelberg, Pennsylvania, 151063751

Office: 412-279-4551

 <p>COMMONWEALTH OF PENNSYLVANIA</p> 	<p>Contract Number: 013-E22-220</p> <p>Original Contract Effective Date: 03/18/2022</p>
<p>Supplier Name/Address WOLTZ AND WIND FORD INC 2100 WASHINGTON PIKE HEIDELBERG, PA 15106</p>	<p>Commodity Specialist Name: Shelbie Pickering Phone: 717-703-2947 Fax: 717-783-6241</p>
<p>Your SAP Vendor Number: 147187</p>	<p>Contract Name: Emergency Responder Vehicles</p>
<p>Supplier Phone Number: 412-279-4551</p>	<p>Solicitation No: COSTARS-13</p>
<p>The issuance of this document constitutes evidence of a fully-executed contract between the Commonwealth of Pennsylvania and the Supplier.</p>	
<p>This contract is comprised of: The above referenced Solicitation, the Supplier's Bid, and any documents attached to this Contract or incorporated by reference in the solicitation and/or Supplier's Bid.</p>	

PSF 8

Prepared for:

Castle Shannon

Prepared by: William Bauer

09/19/2022



Woltz & Wind Ford, Inc. | 2100 Washington Pike Heidelberg Pennsylvania | 151063751

2023 Police Interceptor Utility AWD Base (K8A)

Price Level: 320 | Quote ID: CSB-59B

Warranty

Standard Warranty

Basic

Distance 36,000 miles Months 36 months

Powertrain

Distance 100,000 miles Months 60 months

Corrosion Perforation

Distance Unlimited miles Months 60 months

Roadside Assistance

Distance 60,000 miles Months 60 months

Hybrid Electrical Components

Distance 100,000 miles Months 96 months

WFB 9

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

Prepared for:

Castle Shannon

Prepared by: William Bauer

09/19/2022



Woltz & Wind Ford, Inc. | 2100 Washington Pike Heidelberg Pennsylvania | 151063751

2023 Police Interceptor Utility AWD Base (K8A)

Price Level: 320 | Quote ID: CSB-59B

As Configured Vehicle

Code	Description	MSRP
K8A	Base Vehicle Price (K8A)	\$47,165.00
500A	Order Code 500A	N/C
99B	Engine: 3.3L V6 Direct-Injection (FFV)	-\$2,830.00
44U	Transmission: 10-Speed Automatic (44U)	N/C
STDAX	3.73 Axle Ratio	Included
STDGV	GVWR: 6,840 lbs (3,103 kgs)	Included
STDTR	Tires: 255/60R18 AS BSW	Included
STDWL	Wheels: 18" x 8" 5-Spoke Painted Black Steel	Included
9	Unique HD Cloth Front Bucket Seats w/Vinyl Rear	Included
PAINT	Monotone Paint Application	STD
119WB	119" Wheelbase	STD
STDRD	Radio: AM/FM/MP3 Capable	Included
86T	Tail Lamp/Police Interceptor Housing Only	\$60.00
153	Front License Plate Bracket	N/C
43D	Dark Car Feature	\$25.00
17T	Switchable Red/White Lighting in Cargo Area	\$50.00
21L	Front Warning Auxiliary LED Lights	\$550.00
60A	Grille LED Lights, Siren & Speaker Pre-Wiring	\$50.00
51R	Driver Only LED Spot Lamp (Unity)	\$395.00
87R	Rear View Camera	N/C
19V	Rear Camera On-Demand	\$230.00

JSF 10

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

Prepared for:

Castle Shannon

Prepared by: William Bauer

09/19/2022

Woltz & Wind Ford, Inc. | 2100 Washington Pike Heidelberg Pennsylvania | 151063751



2023 Police Interceptor Utility AWD Base (K8A)

Price Level: 320 | Quote ID: CSB-59B

As Configured Vehicle (cont'd)

Code	Description	MSRP
68G	Rear-Door Controls Inoperable	\$75.00
18D	Global Lock/Unlock Feature	N/C
55F	Remote Keyless Entry Key Fob w/o Key Pad	\$340.00
59B	4 Keyed Alike - <u>1284x</u>	\$50.00
85R	Rear Console Plate	\$45.00
549	Heated Sideview Mirrors	\$60.00
47A	Police Engine Idle Feature	\$260.00
76R	Reverse Sensing System	\$275.00
16D	Badge Delete	N/C
19K	H8 AGM Battery (850 CCA/92-amp)	\$110.00
60R	Noise Suppression Bonds (Ground Straps)	\$100.00
61B	OBD-II Split Connector	\$55.00
425	50 State Emission System	STD
96_01	Charcoal Black w/Unique HD Cloth Front Bucket Seats w/Vinyl Rear	N/C
UM_01	Agate Black	N/C
WIFID	WIFI Hotspot - Factory Deleted	-\$20.00
SUBTOTAL		\$47,045.00
Destination Charge		\$1,495.00
TOTAL		\$48,540.00

PSF 11

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

Prepared for:

Castle Shannon

Prepared by: William Bauer

09/19/2022



Woltz & Wind Ford, Inc. | 2100 Washington Pike Heidelberg Pennsylvania | 151063751

2023 Police Interceptor Utility AWD Base (K8A)

Price Level: 320 | Quote ID: CSB-59B

Pricing Summary - Single Vehicle

	MSRP
<i>Vehicle Pricing</i>	
Subtotal	\$48,540.00
<i>Pre-Tax Adjustments</i>	
Description	MSRP
Woltz & Wind Ford and Ford Motor Company Government Price Concession	-\$8,100.00
Total	\$40,440.00

Customer Signature

Acceptance Date

2023 Ford Police Interceptor Utility AWD

Based on COSTARS 13-E22-220

\$40,440.00

PSF 12

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

	Street	No	Name	Violation- 2014	Date	Date to Correct	Corrected Date
259	McCully Road	1402	Wayne Less	did not comply with occupancy violations & parking on Grass	10/1/14	11/1/14	Regular & Certified
	Street	No	Name	Violation- 2016	Date	Date to Correct	Corrected Date
284	Library Road	3301	Budget Transmission	remove banner, and clean-up debris in parking lot	12/29/16	1/5/17	
	Street	No	Name	Violation- 2017	Date	Date to Correct	Corrected Date
226	Rolling Rock	914	Floyd Arbogast	Camper in the driveway	6/6/18	6/11/18	
	Street	No	Name	Violation- 2019	Date	Date to Correct	Corrected Date
105	McRoberts Road	3141	Thomas A Moses	UCC hearing on the lack of progress to take out of Condemn	4/17/19	4/29/19	Regular & Certified
263	Shady Run Avenue	1226	Brian D Dudukovich	Storing Trailers on Grassy Area's	6/14/19	6/25/19	no show found guilty hearing on 4/24/23
336	Rolling Rock Road	914	Floyd L Arbogast	Unsanitary Conditions: Trailer, outside storage, Junk Vehicle	7/10/19	7/20/19	Regular & Certified
587	Oakdale Ave	910	Frank R Menardi	2nd notice for Rental Unit Registration	12/20/19	12/31/19	
	Street	No	Name	Violation- 2020	Date	Date to Correct	Corrected Date
100	McCully Road	1402	Wayne A Less	Junk Vehicles in the back yard	2/20/20	4/5/20	Regular and Certified
106	Library Road	3840	Anthony Fazio	Land use violations	2/26/20	4/30/20	
123	Library Road	3301-3307	James Busch	storage of Junk Cars	3/11/20	5/30/20	Regular and Certified
569	Lindenwood Drive	808	Ronald C & Janet R Sabatasso	no Occupancy Registration	9/29/20	10/4/20	
	Street	No	Name	Violation- 2021	Date	Date to Correct	Corrected Date
8	Belleville Street	2997	Donald A Staab	Missing house numbers and dog feces in the yard	1/8/21	1/13/21	Sent violation 11/17/22
129	Grove Road	1301 apt 2	Robert Nagy	2nd notice for feeding the animals & \$25.00 ticket fine	2/23/21	2/24/21	Regular & Certified
213	Belleville Street	2909	Zachary Myles Diberadin	2 nd Garbage and cans at the curb, and storage of pallets in	4/9/21	4/14/21	Regular and Certified
314	Glen Shannon Dr	567	Kopila Thapa	Building a Roof over a deck with no permit	5/17/21	5/22/21	
344	Grove Road	1301	Robert Nagy	2nd time submitting citations feeding animals & infestation	5/27/21		waiting for hearings
387	Grove Road	1301	Robert Nagy	another 2 citations for feeding Animals & Birds	6/10/21		waiting for hearings
531	Library Road	3603	Original Gyro	Sanitation issue in the back, blocking clear site exiting the lot	8/5/21	8/10/21	
549	Grove Road	1301	Robert Nagy	2 citations feeding animals, Infestation of rodents	8/13/21		Waiting for hearing date
704	Grove Road	1301	Robert Nagy	3 more citations feeding animals, uninhabitable, infestation	12/17/21		3 more citation
705	Sleepy Hollow Road	900	Daharmishtha Lodaliya	operating a Mini Mart/Convenience store in a R-2 District	12/27/21	1/7/22	Regular & Certified
	Street	No	Name	Violation- 2022	Date	Date to Correct	Corrected Date
109	Belleville Street	3111	Daniel Wilson	Installing a fence without a permit	2/11/22	2/21/22	Withdrawn 5/16/23
144	Library Road	3421	Jason Alan Roberts	Roof leaking inside Apt 2, No Sign permit, or unit registration	3/7/22	3/18/22	Regular and Certified
148	Grove Road	1301 apt 2	Robert Nagy	another 2 citations for feeding animals and birds, rodents	3/10/22		
149	Belleville Street	3111	Daniel Wilson	2nd notice Installing a fence without a permit	3/15/22	3/26/22	Withdrawn on 5/16/23
163	Belleville Street	2909	Christopher Schmitt	2011 Carry-on Trailer and ATV in the front of the house	3/28/22	3/30/22	Regular and Certified was received 6/11/22
164	Grove Road	1301	Robert Nagy	2 more citations	3/30/22		
168	Library Road	3757	Pele Castle Shannon LLC Dustin Jo	Landslide between 3755&3757 along Fountain Road	4/1/22	4/11/22	regular and certified
178	Prospect Ave	1220	Retred LLC	Installed gravel and no permit for a parking pad	4/12/22	4/17/22	issued 2 more waiting for a hearing date
197	Sleepy Hollow Road	921	Lobos Management	no Occupancy for new tenants, unit registration, on grass	5/5/22	5/15/22	Regular and Certified
273	Prospect Ave	1220	Retred LLC Ashish Shah	2nd Notice gravel on street, no pad permit & Occ+Unit Reg.	5/24/22	6/3/22	issued 2 more waiting for a hearing date
322	Belleville Street	2909	Christopher Schmitt	2nd notice for trailer, 311 app High Grass	6/9/22	6/14/22	Regular and Certified was received 6/11/22
327	Willow Ave	3762	William D Nedzesky	High Grass and no Unit Registration	6/10/22	6/15/22	just the grass was cut 7/11/2022

340	Cooke Drive	781 Apt1	Stevenson Williams Management De	Uninhabitable; contains filth and contamination, mold Lack M	6/13/22	7/28/22	Regular and Certified
343	Cooke Drive	786 A	Schnabletler LLC	Garbage out , no Unit registration	6/15/22	6/22/22	
349	Myrtle Ave.	3750	Pittsburgh Myanmar Christian Fellow	Needs a Grading Permit for the retaining wall for parking	6/15/22	6/25/22	
397	Killamey Drive	811	Jodi L Doyle	no Occupancy or Unit Registration	7/8/22	7/15/22	
424	Riehl Drive	740	Sarah Rappaport	Installed a fence with no permit	7/25/22	8/4/22	
430	Rosalia Ave	3521	Linda Ann Daube	High Grass and weeds, house needs repairs	7/27/22	10/25/22	
446	Library Road	3301 & 3307	James Busch Jr.	Banner Sign and abandoned Castrol sign, High Grass	7/28/22	8/2/22	
455	Belleville Street	3111	Daniel Wilson	1 Citation for no permit for a fence	7/29/22		withdrawn on 5/16/23
456	Prospect Ave	1220	Asif Shah	4 Citation parking pad, Rental Unit Reg, Occupancy, Gravel S	7/29/22		issued 2 more waiting for a hearing date
470	Library Road	3421	Jason Alan Roberts	2nd notice on violations from 3/7/22, weeds, no occupancy	8/3/22	8/10/22	Regular and Certified
473	Rosalia Ave	3521	Linda Daube	2nd notice for High Grass and Weeds	8/3/22	8/8/22	Regular and Certified
481	Lyndell Street	3707	Catherine & Clair Smith Brothers	Tarp in yard, no electric, chimney, porch foundation, vacant	8/4/22	9/4/22	Regular and Certified
490	Belleville Street	3111	Daniel Wilson	High Grass and weeds around the property	8/5/22	8/11/22	withdrawn on 5/16/23
535	Saint Anne Street	938	Marshall Gregory	Dog Feces disposal of rubbish, sanitation and means of egress	8/17/22	8/22/22	waiting for hearing date
546	Library Road	3505	Realty Income Trust 6	\$25.00 Ticket for high grass	8/19/22	8/24/22	Regular and Certified
569	May Street	2903	Soraya Zangeneh	High Grass and weeds	8/25/22	8/30/22	
597	Saint Anne Street	938	Marshall Gregory	2nd Notice for dog Feces disposal of rubbish, sanitation	8/31/22	9/5/22	waiting for hearing date
664	Prospect Ave	1220	Asif Retred LLC	Another 4 Citations submitted	9/15/22		issued 2 more Waiting for the hearing date
665	Saint Anne Street	938	Marshall Gregory	3 citations submitted	9/15/22		Waiting for the hearing date
677	Green Ct.	222	Andrew Sweiter.	Re-occurrence of sanitation conditions & Rodents	9/20/22	9/21/22	
708	Park Avenue	918	H&P Partners LLC	Doing work without a permit and conditional occ. ran out	9/27/22	10/12/22	Regular and Certified
774	Middleboro Road	3564	Caley P Mangan	No gutter for proper drainage	10/18/22	10/28/22	
782	Edgewood Avenue	951	Steve/Sandy Huetter	2nd Notice for Husky running loose and a \$25.00 ticket	10/19/22	10/21/22	
816	Willow & Poplar	3633 to 3729	Bruce E Falgiani	Occupancy and Unit Registration need inspected	10/27/22	11/11/22	Hand Delived
817	Broadway Ave	3215	Milton E & Dorothy Hamel Jr.	Tree causing damage porch roof	10/27/22	11/4/22	
831	Pine Avenue	971	Actech Cloud LLC SOLO	Garbage out too early for Thru, & Unit Registration	10/31/22	11/1/22	submit citation on 5/17/23
837	Rosalia Ave	3521	Linda Ann Daube	2nd notice for repairs not being completed on the property	11/1/22	11/30/22	Regular and Certified
865	Saint Anne Street	938	Marshall Gregory	4 more citation	11/7/22		waiting for hearings
869	Cooke Drive	797 B	Joann Groman	No Occupancy and no Unit Registration	11/8/22	11/15/22	Regular and Certified
884	Broadway Ave	3215	Milton E & Dorothy Hamel Jr.	2nd notice for Rotted roof and tree causing damage	11/9/22	11/18/22	
892	Poplar Avenue	3617	Lawrence Luke Doyle	large tree with dead branches that poses a threat to the public	11/16/22	11/23/22	
902	Murrays Ln	289	Linnea Rae Ondick	2003 toyota with expired plate & Stickers	11/18/22	11/28/22	
909	Pine Avenue	958 Apt 2	Marco A & Martha Honores	Recycling out too early, no Occupancy for tenants, no Unit	11/21/22	11/26/22	Regular and Certified
915	Sleepy Hollow Road	967	Adam & Samantha Elliott	no Occupancy for the tenants	11/21/22	11/28/22	Unauthorized Busness Regular and Certified
936	Poplar Avenue	3729	Laeth Abdrazq Mahmud	sidewalk is in disrepair way too long	11/28/22	12/28/22	waiting for American Water
941	Highland Villa Drive	1412	John Jay Thigpen II	Unsafe side Deck with no floorboards and railings	11/28/22	12/8/22	
942	Broadway Ave	3215	Milton E & Dorothy Hamel Jr.	3rd notice Rotted roof, broken gutter and tree causing damag	11/28/22	12/8/22	Regular and Certified
944	Poplar Avenue	3617	Lawrence Luke Doyle	2nd notice Large tree poses a threat to the public and Occup	11/28/22	12/8/22	Regular and Certified
954	Murrays Ln	289	Linnea Rae Ondick	2nd Notice 2003 Toyota and 2007 Ford with expired plates ar	11/29/22	12/9/22	Ford gone on 2/7/23
978	Middleboro Road	3564	Caley P Mangan	Junk Ford F-150 expired stickers	12/6/22	12/16/22	

Street	No	Name	Violation- 2023	Date	Date to Correct	Corrected Date
1022 Lyndell Street	3800	Tania Wang	No Unit Registered	12/14/22	12/15/22	
1048 Library Road	3630	Russell Suprek Pittsburgh Sports Ba	No permit for the side wall sign	12/27/22	1/3/22	5/3/23
113 Broadway Ave	3139	Sunset Capital Llc	Front porch block crumbling and needs repaired	1/24/23	2/7/23	
115 Castle Shannon Blvd	1106	Josephine McGonigle	Garbage out before 6:00 Pm, No Occ, & No Unit Registration	1/25/23	1/30/23	
194 Prospect Ave	1220	Ashesh Shan	Gravel and mud into the street a MS4 issue parked on Grass	2/10/23	2/14/23	issued 2 more citations waiting for the hearing
195 Sleepy Hollow Road	967	Samantha and Adam Elliott	Unauthorized Home Base Busniess	2/10/23	2/20/23	Regular and Certified
203 Saint Anne Street	917-919	Barry T Langan	Trash left at the curb, no rental Unit and No Occupancy	2/14/23	2/19/23	
214 Thornwood Drive	1060	Jennifer L Thomas	Dumpster Bag at the curb well after 30 day's	2/16/23	2/23/23	submit citation on 5/17/23
219 Newport Drive	930	Frederick C & Carol H Boden	2006 Mitsubishi with an expired plate and inoperable	2/21/23	3/3/23	
230 Willow Avenue	3827	Debbie Schweiger	No Occupancy for Polished Nails Studio & Spa	2/23/23	2/28/23	Regular & Certified
234 Hamilton Road	1349	Joshua Bush	Dead trees out front that pose a threat to the road & Public	2/23/23	3/9/23	
242 Library Road	3611	Original Gyro	Unsafe equipment	3/3/23	4/3/23	
265 Steiger Street	4102	Matthew Stonebraker	Did not complete violations for Occupancy and rental	3/9/23	3/16/23	
307 Library Road	3630	Pittsburgh Sport Bar Russell Suprek	2nd Notice no permit for side wall sign & now a portable sign	3/29/23	4/5/23	5/3/23
317 Willow Avenue	3926	Barry T Langan	Garbage out before 6:00 Pm & no Occupancy & unit Registra	3/30/23	4/6/23	
319 Willow Avenue	3857	Blue Lions LLC Justin Tiano	Trailer behind building with junk and expired plate since 2020	3/31/23	4/7/23	
323 Willow Avenue	3855	John French	Feeding birds causing rodent problems and close to the creek	3/31/23	4/2/23	submit citation on 5/17/23
327 Saint Anne Street	911	Richard P Fest	2nd Notice Grading/excavating in vacant lot with no permit	4/4/23	4/11/23	Regular and Certified
341 Castle Shannon Blvd	1116	Raymond Lackner	Parapet, lintels, Windows Collapsing on the Southwestern side	4/14/23	Immediate	Regular & Certified 30 days just to get permits
345 Lindenwood Drive	812	Keala Kwai Wah Montervon	3rd Notice 2013 Toyota on grass next will be a citation	4/14/23	4/15/23	Regular and Certified
347 Sleepy Hollow Road	964	9624 Sleepy Hollow LLC	records show as vacant, no unit registration	4/17/23	4/18/23	
371 Willow Avenue	3855	John French	2nd Notice for feeding the birds causing rodent problems	4/19/23	4/21/23	submit citation on 5/17/23
372 Pine Avenue	905	Skylar Stewart PGH Property Group	No Occupancy, no unit registration parking on the grass	4/19/23	5/3/23	Regular and Certified
373 Library Road	3547	Skylar Stewart PGH Property Group	No Occupancy, no unit registration	4/19/23	5/3/23	Regular and Certified
384 Library Road	3625	Jonathan Fitzpatrick Auto Glass Now	2nd Notice for Banner on the outside of the building	4/21/23	4/23/23	5/15/23
388 Oak Drive	1431	The Gary & Barbara A Hudzik Revoc	Front yard rail fence falling apart 7 still siding falling of the side	4/25/23	4/30/23	5/15/23
391 Connor Rd	1061	Matthew Templeton	Trailers parked in front of house	4/25/23	5/5/23	
392 Library Road	3630	Russell Suprek Pittsburgh Sports Ba	2 Citations for a side wall sign and a portable sign	4/25/23		5/3/23
394 Blossom Hill Rd.	1470	Pamela L & Andrew J Hunter	Unsafe pile of wall block on the side and porch crumbling	4/26/23	5/26/23	5/9/23
396 Prospect Ave	1220	Ashesh Shah	2 citation for gravel in the street and and no parking pad	4/26/23		wait for a Hearing Date
398 Thornwood Drive	1060	Jennifer Thomas	2nd Notice for dumpster bags next time will be a citation	4/27/23	5/2/23	submit citation on 5/17/23
400 Library Road	3625	Auto Glass Now Jonathan Fitzpatrick	3rd notice for banners next time will be a citation	5/1/23	5/6/23	Regular and Certified
401 Oak Drive	1431	Gary S & Barbara A Hudzik	Wooden Fence Leaning and ready to fall into the neighbors	5/1/23	6/1/23	
402 Grove Road	1264	Steven A Rohall	Bamboo growing on the backyard hillside	5/1/23	6/6/23	
403 Grove Road	1266	Ngoc & Thanh Nguyen	Bamboo growing on the backyard hillside	5/1/23	6/1/23	5/17/23
404 Saint Anne Street	911	Richard P Fest	Garbage cans left out days after collection	5/1/23	5/2/23	5/9/23
405 Saint Anne Street	915	Robert E & Valerie Malley	Garbage cans left out days after collection	5/1/23	5/2/23	5/9/23
406 Saint Anne Street	921	Manuel G Montero	Garbage cans left out days after collection	5/1/23	5/2/23	5/9/23
407 Willow Avenue	4204	Joshua Richard Horn	Empty recycling container left at the curb days after collection	5/1/23	5/2/23	5/9/23

408	Willow Avenue	4012	Pamela Carrozzi	Pile of tree branches in the private alleyway	5/2/23	5/17/23	
409	Milton Road	1022	Larry & Marla Worstell	Trailer parked on grass, and refrigerator in front of the house	5/2/23	5/12/23	
410	Connor Road	1013	John McGhee	2nd notice trailer in front of house, and building and scrape	5/2/23	5/12/23	
411	Sleepy Hollow Road	910	Leonard Santos	Cans in a open box at the curb since last week	5/2/23	5/3/23	5/5/23
412	6th Street	1240	Andres Bautista-Nolasco	2008 Chevy Van in the mud along Ridgeton	5/2/23	5/3/23	5/5/23
413	Killarney Drive	847	Daniel Mark Kohr	High Grass	5/2/23	5/7/23	2nd notice sent 5/9/23
414	Killarney Drive	827	Sam Gardiner	High Grass	5/2/23	5/7/23	5/9/23
415	Newport Drive	910	Darlene Rake	Uninspected Blue Ford Taurus parked on the grass	5/2/23	5/3/23	will remove by 6/1/23
416	Pine Avenue	971	Timothy & Svitlana Tomson	We have no unit registration or Occupancy and high grass	5/3/23	5/10/23	submit citation on 5/17/23
417	Thornwood Drive	1020	Harka Thapa	Garbage out before 6:00 Pm	5/3/23	5/4/23	5/9/23
418	Greenridge Road	4224	Matthew James Ryan	High Grass and no visible house numbers	5/4/23	5/9/23	wrong address remove
419	Hastie Road	1043	Khang Nguyen	Garbage out before 6:00 Pm	5/4/23	5/4/23	5/8/23
420	Hastie Road	1040	Barbara Weber	Garbage out before 6:00 Pm	5/4/23	5/4/23	5/8/23
421	Hastie Road	1031	Sandra Steele	Garbage out before 6:00 Pm	5/4/23	5/4/23	5/8/23
422	Baldwin Street	927	David A Palermo	High grass in the backyard	5/4/23	5/9/23	5/8/23
423	Baldwin Street	925 apt 2	Ashlyn Hilderbrand	High grass in the backyard	5/4/23	5/9/23	
424	Baldwin Street	925 apt 1	Spencer Eldridge	High grass in the backyard	5/4/23	5/9/23	
425	Corbett Drive	859	Jason C Chang	High Grass	5/4/23	5/9/23	5/9/23
426	Frank Street	3800	Jennifer Daube	High Grass	5/4/23	5/9/23	
427	Ulrich Avenue	927	Oznut LLC	High Grass	5/4/23	5/9/23	5/8/23
428	Ulrich Avenue	925	Christian Bell	High Grass	5/4/23	5/9/23	5/8/23
429	Cooke Drive	789 B	Mark & Eva Shillingburg	High Grass	5/4/23	5/9/23	5/9/23
430	Willow Avenue	4127	Zaphkhan Investments LLC	High Grass	5/4/23	5/9/23	5/8/23
431	Willow Avenue	4122	Ibrahim Kimukin	High Grass and debris in the yard	5/4/23	5/9/23	5/9/23
432	Willow Avenue	4102	NaNa Rei LLC	High Grass	5/4/23	5/9/23	5/8/23
433	Willow Avenue	3918	Jason & Kayla Bailey	High Grass	5/4/23	5/9/23	5/8/23
434	Castle Shannon Blvd	1011	Jason Jurich Golden CastleReal Est	Selling vehicles with out approval in a commercial area	5/4/23	5/11/23	called on Friday selling it for friend
435	Poplar Avenue	3729	Laeth Abdrazq Mahmood	High Grass	5/4/23	5/9/23	5/8/23
436	Poplar Avenue	3538	Kristy Heslet & Stephen Nickles	High Grass	5/4/23	5/9/23	5/17/23
437	Lebanon Ave	931	Donald G & Patricia L Daube	High Grass	5/4/23	5/9/23	5/8/23
438	Lebanon Ave	923	Allegheny County Housing Authority	High Grass	5/4/23	5/9/23	5/8/23
439	Maple Avenue	953	James E Vidt Trustee	High Grass	5/4/23	5/9/23	5/8/23
440	Sleepy Hollow Road	968	Asle Hall & Douglas Foster	High Grass	5/4/23	5/9/23	5/8/23
441	Sleepy Hollow Road	964	9624 Sleepy Hollow LLC	High Grass	5/4/23	5/9/23	5/8/23
442	Sleepy Hollow Road	963	Robert Lewis & Natasha	High Grass	5/4/23	5/9/23	5/8/23
443	Sleepy Hollow Road	962	Janeen Buczynski & Tyler Patterson	High Grass	5/4/23	5/9/23	5/8/23
444	Trance Drive	1429	Dorothea J Walter	Grass clippings blown in the street	5/4/23	5/9/23	grass 5/8/23
445	McRoberts Road	3490	KEQ Holdings LLC	It appears to have new tenan with out Occupancy	5/4/23	5/11/23	
446	McRoberts Road	3185	Robert J Peters Jr.	High Grass and Debris lying in the yard	5/4/23	5/9/23	5/9/23
447	Greenridge Road	4100 apt#1	Osama Elfeky	overnight parking of bucket and utility truck on the street	5/5/23	5/12/23	

448	Willow Avenue	3918	Dylan Kumer	2015 Black Chevy Truck parked on the grass	5/8/23	5/9/23	5/9/23
449	Groveton Street	1362	Brandon Scott Myers	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
450	Groveton Street	1319	Matthew R & Brittany A Gaetano	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
451	Grove Road	1361	Matthew Damico	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
452	Magnolia Drive	1423	Rachael R Heasley	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
453	Trance Drive	1477	Edward J Larson	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
454	Trance Drive	1462	Martin J III & Carol R Koprivnikar	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
455	Trance Drive	1458	Michael Jacobs	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
456	Trance Drive	1411	John J & Diana M Deighan	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
457	Sycamore Drive	3380	Myles D & Irene T Underwood	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
458	Sycamore Drive	3376	Samuel R Abbott, 3rd	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
459	Sycamore Drive	3365	Anthony J & Gina E Elardo	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
460	Sycamore Drive	3364	Shea F Cassler	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
461	Highland Villa Drive	1427	Gregory G & Bethany D Wagner	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
462	Highland Villa Drive	1423	Joseph M Lucas	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
463	Highland Villa Drive	1404	George J Jr Uhl	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
464	Highland Villa Drive	1401	Richard & Melanie Kessler	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
465	McRoberts Road	3309	Vincent Thomas Garofalo Trustee	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
466	McRoberts Road	3469	Christopher A Adams	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
467	Library Road	3549	Andy & Lauren Tuskin	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
468	Library Road	3537	Aesha Brown	High Grass	5/8/23	5/9/23	5/15/23
469	Library Road	3525	Tyson Nguyen	Garbage out before 6:00 Pm	5/8/23	5/9/23	5/10/23
470	Greenridge Road	4225	Jill E & Brian S Vogel	High Grass and no visible house numbers	5/9/23	5/9/23	5/15/23
471	Hastie Road	1050	Patrick M & Maria C Connell	High Grass	5/9/23	5/14/23	5/15/23
472	Sleepy Hollow Road	929	Judith & Sarah Friedl	High Grass	5/9/23	5/14/23	5/15/23
473	Killamey Drive	847	Daniel Mark Kohr	2nd notice for High Grass and Weeds	5/9/23	5/14/23	
474	Glen Shannon Dr	536	Donald & Cheryl Seese	High Grass	5/9/23	5/14/23	5/15/23
475	Home Ave	3017	Tarou Nakajima	notice to finish parking pad and inspection violations	5/9/23		notice of warning
476	Library Road	3563	OAP Ventures LLC James Brocato	Condemed for faulty construction & Unsafe Structure	5/9/23	11/9/23	Regular and Certified
477	Corbett Drive	859	Jason C Chang	Garbage out before 6:00 Pm	5/10/23	5/11/23	5/15/23
478	May St Ext	2901	Bradley J Holzworth	High Grass	5/10/23	5/15/23	5/15/23
479	Home Ave	3105	Matthew Simmons Aux Funding LLC	No Occ, No Unit Reg, High Grass	5/10/23	5/20/23	
480	Belleville Street	3001	Debra E Byron Pecora	High Grass	5/10/23	5/15/23	
481	Belleville Street	3017	Ryan Miller	High Grass	5/10/23	5/15/23	
482	Killamey Drive	814	Neil J Mckenzie	High Grass	5/10/23	5/15/23	5/15/23
483	Killamey Drive	811	Jodi L Doyle	High Grass	5/10/23	5/15/23	
484	Hiwood Drive	3388	ColleenJessie Waldron	High Grass	5/10/23	5/15/23	5/15/23
485	Maplewood Drive	816	Joanne M Neiport	High Grass	5/10/23	5/15/23	5/15/23
486	Maplewood Drive	819	Catherine B Hook	High Grass in the bacvtyard	5/10/23	5/15/23	5/15/23
487	Lindenwood Drive	816	Christine Johnson	High Grass	5/10/23	5/15/23	5/15/23

488	Home Ave	3138	Jagpinder Singh	High Grass and no Unit Registration	5/10/23	5/15/23	
489	Poplar Avenue	3617 apt #2	Nicole Evans	High Grass	5/10/23	5/15/23	
490	Poplar Avenue	3617 apt #1	Hayley Whittaker	High Grass	5/10/23	5/15/23	
491	Poplar Avenue	3721	Skylar Stewart	getting ready to build Deck, Shed, Fence, with out a permit	5/10/23	5/15/23	
492	Corbett Drive	859	Jason C Chang	Garbage out before 6:00 Pm	5/10/23	5/11/23	5/15/23
493	Rockwood Ave	1000	Stanley & Roberta Zukiewicz	High Grass	5/10/23	5/15/23	warning
494	Prospect Ave	1243	Cherie D Sterrett	High Grass	5/10/23	5/15/23	5/15/23
495	Prospect Ave	1214	James & Justin Hopkins	High Grass	5/10/23	5/15/23	5/15/23
496	Prospect Ave	1244	Timothy P & Nancy M Geyer	High Grass	5/10/23	5/15/23	
497	Clara Ave	1329	Mary Ochs	High Grass and Brush	5/10/23	5/15/23	5/15/23
498	McCully Road	1800	Murray N Farber	High Grass	5/10/23	5/15/23	5/15/23
499	Blossom Hill Rd.	1605	Martin A & Patricia M Sobieralski	High Grass	5/10/23	5/15/23	5/*15/23
500	Rebecca Street	3700	Purni Maya Maji	High Grass	5/10/23	5/15/23	5/15/23
501	McRoberts Road	3490	KEQ Holdings LLC	High Grass	5/11/23	5/15/23	
502	Grove Road	1373	James Olsen	High Grass	5/11/23	5/15/23	5/15/23
503	Lindenwood Drive	816	Christine Johnson & Mark Gittens	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
504	Lindenwood Drive	813	James J Joseph Trust	High Grass	5/11/23	5/15/23	5/15/23
505	Maplewood Drive	816	Joanne M Neiport	High Grass	5/11/23	5/15/23	5/15/23
506	Willow Avenue	4212	Joshua James Staley	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
507	Willow Avenue	4012	Pamela Carrozzi	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
508	Hastie Road	1050	Patrick M & Maria Scarnati Connell	High Grass	5/11/23	5/15/23	5/15/23
509	Hastie Road	1038	Matthew L Miller	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
510	Hastie Road	1024	Diwash Adhikari	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
511	Hastie Road	1020	David J Kozma	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
512	Hastie Road	1004	Louis A Palka	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
513	Greenridge Road	4246	Heather L Beech	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
514	Greenridge Road	4248	Marlene L Kerr & Fred Molly	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
515	Greenridge Road	4239	Paul & Rebecca Corbett	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
516	Greenridge Road	4235	Mark & Joan Naumann	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
517	Greenridge Road	4233	William L & Susan J Grand	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
518	Maplene Avenue	3179	Bryan Willey	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
519	Maplene Avenue	3171	Kenneth P & Judith A Wolfe	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
520	Maplene Avenue	3148	Susan Daube	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
521	Maplene Avenue	3100	Chad L & Christine A NcCall	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
522	Edgewood Avenue	939	David P & Bonnie L McCall	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
523	Glen Shannon Dr	535	Robert G & Marie A Waugaman	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
524	Glen Shannon Dr	515	Paul L & Joanne Varnum	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
525	Londonderry Drive	809	RP2ALL LLC Maurice Makay	High Grass	5/11/23	5/15/23	
526	Londonderry Drive	830	Residential Resources Inc.	High Grass	5/11/23	5/15/23	
527	Killarney Drive	857	Tara & Allison Waldo	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23

528	Killarney Drive	801	Robert D & Melissa A Kenneweg	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
529	Killarney Drive	785	Michael G Trageser	Garbage out before 6:00 Pm	5/11/23	5/12/23	5/12/23
530	Library Road	3505	Realty Income Trust 6	no permit for the portable sign	5/12/23	5/19/23	
531	Library Road	3549	Andy & Lauren Tuskin	High Grass	5/12/17	5/17/23	
532	Library Road	3609	Madsen Donuts	no permit for the portable sign	5/12/23	5/17/23	
533	Poplar Avenue	3734	Steve R & melia A Dean	High Grass	5/12/23	5/17/23	
534	Shady Run Avenue	1211	Ralph Luick Jr.	2015 Kia parking on the grass	5/12/23	5/13/23	
535	Maplewood Drive	814	Ernest Shopes	2018 Ford pick up parking on the grassy area	5/15/23	5/16/23	5/17/23
536	Columbia Drive	3370	Francisco Garcia Jr	2018 Hyundai parking on the grassy area	5/15/23	5/16/23	5/17/23
537	Sleepy Hollow Road	933	Jake Armstrong	Garbage can left at the curb all weekend, high grass dead bra	5/15/23	5/20/23	
538	Trance Drive	1422	Mainstay Life Services	Grass clippings left on the street	5/15/23	5/16/23	5/19/23
539	Broadway Ave	3254	Rashid H Boumasoud	3 citations submitted,High Grass,Storage,Junk Vehicles	5/15/23		waiting for hearing date
540	Highland Villa Drive	1412	John Jay Thigpen II	High Grass	5/16/23	5/21/23	
541	Caslte Road	214	Wilmington Savings FD	High Grass	5/16/23	5/26/23	
542	Rosalia Ave	3506	William M & Kathleen Goebel	High Grass	5/16/23	5/21/23	
543	Greenridge Road	4200	JML Anthony Family Trust	High Grass	5/16/23	5/21/23	5/17/23
544	Saint Anne Street	938	Marshall Gregory	High Grass	5/16/23	5/21/23	
545	Frank Street	3800	Jennifer Daube	2nd notice for High Grass and Weeds	5/16/23	5/21/23	
546	Baldwin Street	850	Vernridge LP	High Grass and Weeds on the front hillside	5/16/23	5/21/23	
547	Baldwin Street	921	CKZ Properties LLC	No Occupancy for tenant, no unit registration, high grass	5/16/23	5/26/23	
548	Baldwin Street	923	Rachel Seiler Sandberg	High Grass in the back yard	5/16/23	5/21/23	
549	Sleepy Hollow Road	919	James Jones	High Grass	5/16/23	5/21/23	
550	Sleepy Hollow Road	910	Leonard Santos	High Grass	5/16/23	5/21/23	5/19/23
551	Columbia Drive	3371	Glenn N Child	Grass blown in the street	5/16/23	5/17/23	
552	Lebanon Ave	917	Sean Kelly	Empty recycling container left at the curb days after collection	5/16/23	5/17/23	
553	Riehl Drive	775	Henry Mauser	High Grass	5/16/23	5/17/23	
554	Library Road	3301	James & Michele Busch Jr	3rd Notice for signage, no unit registration, and High Grass	5/16/23	5/31/23	
555	Hastie Road	1015	Dee Ann Butchko	Garbage and Recycle bins lefty at the curb days after pick up	5/16/23	5/17/23	
556	Pine Avenue	971	Timothy Tomson	2 Citations No Occupancy and no Unit Registration	5/17/23		Waiting for hearing
557	Willow Avenue	3855	John French	Citation for Feeding the birds	5/17/23		Waiting for hearing
558	Thornwood Drive	1060	Jennifer Thomas	Citation for dumpster bags in back yard for months	5/17/23		Waiting For hearing
559	Myrtle Ave.	3735	Tracey Ondek	High Grass and weeds	5/17/23	5/22/23	
560	Maple Avenue	925	Nancy A Rodriguez	High Grass	5/17/23	5/22/23	
561	Baldwin Street	901	Jenny Moore	High Grass	5/17/23	5/22/23	
562	Baldwin Street	915	Shayne & Colleen Kastroll	High Grass	5/17/23	5/22/23	
563	Prospect Ave	1244	Timothy P & Nancy M Geyer	2nd Notice for High Grass also tarps, broken, fence, debris	5/17/23	5/22/23	
564	McCully Road	1404	Michael A Kalanish	No Occupancy, Violation since 11/9/20, and High Grass	5/17/23	5/27/23	
565	May Street Ext.	2904	Hanna Sheilds	High grass	5/17/23	5/22/23	
566	Oakdale Ave	938	CICC & Sons Investments LLC	High Weeds, No Occ. with violations.No unit registration	5/18/23	5/28/23	
567	Londonderry Drive	809	RP2ALL LLC Maurice Makay	2nd Notice for High Grass, and No Unit Reg. include 3017 Be	5/18/23	5/28/23	

568	Londonderry Drive	830	Residential Resources Inc.	High Grass	5/18/23	5/23/23	
569	Kerry Hill Drive	802	Scott E Weir	Garbage out before 6:00 Pm	5/18/23	5/19/23	5/19/23
570	Maple Avenue	946	Mark D & Amy Hellmann	Garbage out before 6:00 Pm	5/18/23	5/19/23	5/19/23
571	Lebanon Ave	931	Donald G & Patricia L Daube	Garbage out before 6:00 Pm	5/18/23	5/19/23	5/19/23
572	Lebanon Ave	936 Rear	Carmella Viviano	Garbage out before 6:00 Pm	5/18/23	5/19/23	5/19/23
573	Park Avenue	929	Origen Ventures Kaitlyn Foy, Asset #	High Grass, and outstanding Occ. Violations	5/18/23	5/23/23	
574	Cooke Drive	791 A	Matthew Armstong	High Grass	5/18/23	5/23/23	
575	Milton Road	1022	Larry J & Maria J Worstell	Garbage out before 6:00 Pm	5/18/23	5/19/23	5/19/23
576	Willow Avenue	4212	Joshua James Staley	Garbage out before 6:00 Pm	5/18/23	5/19/23	5/19/23
577	Thornwood Drive	1046	Gregory H & Diane Valley	Garbage out before 6:00 Pm	5/18/23	5/19/23	5/19/23
578	Hastie Road	1021	Marjorie Boyd	Garbage out before 6:00 Pm	5/18/23	5/19/23	5/19/23
579	Shady Run Avenue	1220	Safaa Jawad Alsaeedi	2022 Ford Bronco on the front lawn, No Occupancy	5/18/23	5/28/23	
580	Shady Run Avenue	1211	Ralph Luick Jr.	2015 Black Kia parking on grass	5/18/23	5/19/23	

CASTLE SHANNON BOROUGH ZONING ORDINANCE AUDIT

May 11, 2023

Denny Puko, Planning Consultant LLC

INTRODUCTION

Castle Shannon Borough engaged Denny Puko, Planning Consultant LLC to perform an audit of the borough's zoning ordinance. The purpose was to identify recommendations for changing, updating, and strengthening the ordinance.

Work included an evaluation of:

- Consistency of the ordinance with the PA Municipalities Planning Code and case law.
- Unclear and conflicting provisions.
- Regulatory gaps and weak spots.
- Regulations and processes that are low in value and lacking in purpose and which present barriers to desired development.
- Adequacy of regulations to address emerging zoning issues and uses.
- Opportunities to incorporate current zoning best practices and innovations.

Work also included a joint work session of borough staff, planning commission, and zoning hearing board to identify regulatory problem areas and deficiencies and any administrative issues.

This report identifies significant and select zoning ordinance matters worthy of attention. It does not identify all matters which the borough should consider. An appropriate next step would be to comprehensively update the ten-year-old zoning ordinance. A professional planning consultant should be hired to lead the borough through a more thorough consideration of desired and needed revisions.

Some comments and recommendations deal with legal issues. While the consultant is knowledgeable in the PA Municipalities Planning Code and case law, he is not a qualified attorney. The borough should review recommendations with and rely on the legal advice of its solicitor.

SUMMARY

The zoning ordinance is generally thorough and detailed. Regulatory provisions are for the most part fully articulated. The ordinance has an extensive list of definitions. Little is left to question. However, that means the ordinance is lengthy, 147 pages. Length can inhibit ease of use and administration. An ordinance update could consider reducing superfluous and non-value-adding language.

Zoning districts are generally suitable. However, it is time to update the comprehensive plan that provides the objectives for the ordinance, and reconsider the districts, permitted uses, and map. Current districts mostly follow a traditional approach segregating uses into distinct residential, commercial, and industrial zones. An updated comprehensive plan should consider creating zones that offer more mix of uses and are based on the form and character of development in addition to uses.

The zoning ordinance is largely consistent with statutory authority – the PA Municipalities Planning Code – and case law. There are few and minor exceptions. They are identified later in the audit.

The zoning ordinance does not have major problem areas for administration. Processes for permits and approvals are fairly standard and reasonable. Borough staff indicated it can effectively administer the regulations in the ordinance. The borough zoning hearing board indicated there are no regulations that are a source of chronic requests for variances.

ZONING ORDINANCE OBJECTIVES

Zoning regulations should be designed to accomplish meaningful objectives. There should not be rules for rules' sake. The Municipalities Planning Code says a zoning ordinance should be based on community development objectives. A court will question the objectives of a regulatory provision if challenged.

Castle Shannon's zoning ordinance provides community development objectives primarily by reference to a borough comprehensive plan. However, the references are outdated. The ordinance refers to a 1963 comprehensive plan and 1988 and 1996 updates. All are outdated. Borough staff noted the plan was updated in 2006 and 2016, but those updates are not referenced in the ordinance and not found online.

Recommendations:

- In the short term the borough could review the 2016 comprehensive plan update to ensure it provides relevant objectives for zoning, and add a reference to it in the ordinance by text amendment. With that, the borough should post the 2016 plan online.
- Also, the borough should initiate update of its comprehensive plan to define the next generation of community development objectives, and follow that work with a comprehensive update of the zoning ordinance to address updated objectives.

DEFINITIONS

The zoning ordinance has an extensive and comprehensive set of definitions, covering 32 pages. Ordinance definitions are consistent and typically verbatim with the Municipalities Planning Code.

Recommendation:

- Terms that stand out as needing review are building setback line, existing building line, and front lot line, and how those are applied for a corner lot. Revisions for consistency and clarity may be in order.

ZONING DISTRICTS AND PERMITTED USES

General comment – conditional uses

A disproportionate number of uses are permitted only as conditional uses. Conditional uses require an extra layer of review and approval. For each application there must be a review by the borough planning commission, a hearing, and a decision by borough council. Approval may come with additional conditions attached. The extra review layer adds administrative burden for the borough. It adds time, cost, and unpredictability for applicants.

Uses which can cause impacts needing additional review to protect the public interest are appropriately designated conditional uses. Examples in the borough ordinance are: adult businesses; kennels and doggie day cares; and gas wells. Uses which are customarily appropriate for zoning districts do not need to be designated conditional uses. Examples in the borough ordinance of uses that are, but likely do not need to be, conditional uses are: business offices in C zones; personal service businesses in C zones; museums in C zones; and most multi-family residential uses in the R-3 zone.

Recommendations:

- The borough should review conditional uses and consider redesignating to uses by right those that do not pass the “impacts needing additional review” test.
- In updating the planning and the ordinance, the borough should reconsider the criteria which each conditional use must meet.

(Note: The borough planning commission did not concur with the consultant’s opinion. Commission members indicated belief that the ordinance has appropriate conditional uses, that conditional uses provide opportunity for additional valuable input, and that the extra time and cost is minimal and not an obstacle to applicants.)

General comment – savings clause

The zoning ordinance needs a better “savings clause” for uses not listed. Most zoning ordinances have a savings clause to protect the municipality from exclusionary zoning challenges. Pennsylvania court doctrine says a zoning ordinance must allow in some zoning district in the municipality all otherwise lawful uses. Yet, it is practically impossible for a zoning ordinance to list every conceivable use.

Castle Shannon’s ordinance states that any “use not listed” is only permitted as a conditional use in the I district. As such, any unforeseen, unlisted uses of a residential, business, or institutional nature can be permitted only in the I district. A common savings clause in other municipalities’ zoning ordinances states that a use not listed may be permitted, typically as a special exception use granted by the zoning hearing board, in a zoning district if it is similar to and not more objectional to a listed permitted use in the same district.

Recommendation:

- The borough should revise the savings clause for uses not listed.

PJC 11

R-1 Single-Family Residential District

The R-1 zoning district is generally suitable for its purpose. It permits single-family dwellings, schools, churches, B&Bs, home day care, and municipal facilities which can include parks and recreation facilities.

Recommendations:

- Many existing lots in R-1 are nonconforming, i.e. less than the required minimum 7,500 sq. ft. and 60' width. Nonconformity inhibits development of vacant lots and expansion of existing lawful uses. The borough should reduce the minimum lot area and width to accommodate the majority of lots in R-1.

R-P Planned Residential Development District

The R-P district exists to accommodate a unique type of development known as a PRD, planned residential development. It is not common to widespread use. Only one small area in the borough is zoned R-P. However, PRD affords a useful, flexible, creative development opportunity for planned development of larger parcels where appropriate.

Recommendations:

- The zoning ordinance subjects a PRD to triplicate approvals. A PRD application, as required by the Municipalities Planning Code, must obtain tentative plan approval, involving planning commission review and a hearing, and final plan approval. Uses in a PRD must also obtain conditional use approval involving planning commission review and a hearing. And, since there are no open areas in the borough zoned R-P, a PRD must obtain rezoning approval involving planning commission review and a public hearing. The conditional use designation should be removed, and a PRD and its uses should be subject to only tentative and final plan approval. The borough should also consider eliminating the R-P zoning district and establishing PRD as a use permitted in the R-3 and possibly other residential districts subject, as required, to tentative and final plan approvals.
- There is an error in the PRD procedure outline in §401 F. 3. c). It says the planning commission approves a tentative plan. The borough council actually approves a tentative plan as prescribed in §401 F. 6. a).
- The zoning ordinance interchangeably uses the terms tentative and preliminary plan. This is not a fatal flaw, but, to be consistent with the Municipalities Planning Code, the term tentative plan should be used.

Commercial zoning districts

The zoning ordinance provides two commercial zoning districts: C-1 General Commercial District designed for Route 88 and other busy streets; and C-2 Central Commercial District designed for Castle Shannon's central business district. Both permit a variety of business uses.

PHC 12

Recommendations:

- Some lot and yard standards (Table 4, page 44) appear to be reversed. Lot coverage – C-1 80%, C-2 50% for primary buildings. Rear yard – C-1 no minimum, C-2 20 feet plus more for higher buildings. C-2 should have the denser standard.
- C-2 permits uses that, from a best-practice standpoint, are typically not desirable for a central business district. Examples are service station, vehicle sales and service, outside mini-storage, drive-through restaurant, and kennel. C-2 does not permit multi-family residential uses which are typically desirable for upper floors in central business district buildings. In updating the comprehensive plan, the borough should reconsider the vision and objectives for a central business district, then consider the above and similar changes in permitted uses for C-2.
- C-2 is the only zoning district in the permitted uses table that permits adult uses. The borough staff and planning commission indicated that this is an error. Adult uses should be permitted only in the I district. The borough should amend the ordinance ASAP to correct the error.

Conditional uses

In addition to the general comment on the disproportionate number of conditional uses, below are specific comments and recommendations.

- §501 A. says borough council has the power to approve conditional uses at a public hearing. Technical changes should be made. Approval action should occur at a public meeting, not at the hearing. And, borough council must conduct a “hearing” not a “public hearing”. (The two terms are different. See page 7.)
- General criteria in §501 C. & D. should be reviewed. Some may be inappropriate or vague. One is the requirement for consistency with the comprehensive plan. The fact that the zoning ordinance permits the conditional use is indicative that the use is consistent with the comprehensive plan and its objectives. Further, courts resist applying comprehensive plan findings or recommendations for regulatory purposes because the comprehensive plan is not a regulatory document. Another is “notification of abutting property owners”. Neither the Municipalities Planning Code nor the zoning ordinance requires the applicant or borough to notify abutting property owners of a conditional use application.
- §502.6 sets criteria for single-family dwellings. Hopefully it is understood to apply only to PRDs and the R-P district, the only district where single-family dwellings are designated as a conditional use. Criteria A. & D. should be made applicable to a PRD overall and not to individual single-family dwellings.
- §502.8 H. says a duplex, where permitted as a conditional use in R-3 and R-P, must have access to a collector or arterial street. As an accepted practice, duplexes in higher-density zoning districts are suitable also on local streets. The borough should consider that change.
- §502.10 sets criteria for a low-impact home-based business, a separate use different than a no-impact home-based business, but it is not listed under any zoning district on the permitted uses table. It should be added to appropriate district(s) on the table.
- Criteria for adult businesses in §503.1 are generally consistent with legal standards. One criterion could be considered for change. It requires adult uses to be located no closer than 150 feet to sensitive uses such as residential zoning districts, churches, and schools.

Ordinances of other municipalities commonly require separation distances of 500-750 feet, even as high as 1,000 feet.

- §503.20 prescribes criteria for junkyards. However, junkyards are not indicated in the permitted uses table as permitted in any zoning district. The ordinance should be amended to permit junkyards in a zoning district, likely the I district.
- The nature of telecommunications facilities has changed since the zoning ordinance was updated in 2013. §503.5 is likely in need of review and revision to more current practices and standards.
- §503.31 A. 1. says off-premise signs may only be permitted along streets classified as other principal arterial or higher in the Allegheny County comprehensive plan. The county plan is due for an update. The update may or may not designate road classifications as in the current plan. It would be wise to designate road classifications in the borough comprehensive plan update and rely on those instead for zoning purposes.

Accessory uses

§203 E. contains requirements for accessory structures. It specifies that an accessory building shall not exceed 150 sq. ft. and shall not be used for garage purposes. Yet, the definition of accessory building/structure includes a garage.

Recommendation:

- Language in §203 should be revised to address this conflict.

OTHER REQUIREMENTS

Parking

Parking provisions appear sound and reasonable. They include current best practices for shared parking and maximum parking.

Recommendations:

- §601 B. requires off-street parking for single-family and two-family dwellings to be provided by a garage or carport. §601 C. requires at least 50% of parking spaces for multi-family dwellings to be totally enclosed. The borough should reconsider if such uncommonly strict standards are needed.
- The borough should consider adding access management provisions to §601 G. Examples to consider are one driveway per property, joint driveways, cross access, and corner clearances greater than 75' currently specified in the ordinance.

Signs

Sign regulations appear sound and reasonable. They follow a more current practice of basing permitted signs on the amount of street frontage of the property, and permitting signs per occupancy instead of per property.

P & C 14

Recommendations:

- §701 D. 3. says banners, etc. are prohibited except as allowed in §701(10). There is no such subsection in the ordinance. That reference should either be deleted or an appropriate reference found or added to the ordinance.
- §701 D. 7. says painted wall signs are prohibited. Since painted wall murals are popular building features, the borough should consider adding language, consistent with current court doctrine, to distinguish a wall sign from wall art in order to clearly permit wall art where appropriate.

Nonconformities

Provisions for nonconforming uses, structures, and lots in the borough zoning ordinance are minimal. Additional provisions would be valuable to strengthen the ordinance.

Recommendations:

- §802 B. should be revised to allow expansion of nonconforming uses consistent with the “natural expansion” doctrine embraced by Pennsylvania courts. A revised provision could require zoning hearing board approval for expansion, or permit a set percentage of expansion (10%, 25%) by right and greater expansion only by zoning hearing board approval.
- §802 B. should be further revised to specify that presumptive abandonment occurs, as embraced by Pennsylvania courts, upon actual abandonment plus intent to abandon.
- §802 should address if a nonconforming structure or use may be reestablished if it is destroyed by fire, storm, or similar means. Zoning ordinances commonly permit reestablishment of a structure on the same footprint, and the same use.

ADMINISTRATION

Administrative provisions in the zoning ordinance are generally appropriate and consistent with the Municipalities Planning Code. Some fine tuning would be appropriate with the help of a consultant with expertise in the Municipalities Planning Code and zoning administration.

Recommendation:

- One specific recommendation is to remove reference in §1002 E. to a building inspector. Roles for receiving zoning applications, collecting related fees, and keeping zoning records should be assigned to the zoning officer.

MPC CONSISTENCY

There are a few provisions in the zoning ordinance that are not consistent with the Municipalities Planning Code and should be changed.

Recommendations:

- Changes should be made to appropriately address where hearings and public hearings are required in accord with the Municipalities Planning Code. Hearing and public hearing are different legal terms applicable in different administrative processes.

- The zoning ordinance definition of no-impact home-based business has a criterion not included in the Municipalities Planning Code definition: “No on-site parking of commercially identified vehicles shall be permitted.” It should be removed from the zoning ordinance definition. Denying a no-impact home-based business in a residential zone because the applicant proposed to park a commercially identified vehicle on site likely would not withstand a challenge.
- §601 G. 3. gives the borough planning commission and borough council authority to determine if ingress and egress to off-street parking is safe. The zoning ordinance should specify that such authority exists for designated conditional uses. For uses permitted by right, the zoning officer has authority to make determinations for compliance with ordinance provisions.
- §701 N. 1. says the zoning officer is authorized to “promulgate regulations” for processing and enforcement of sign permits. This is beyond statutory authority. The zoning officer may prepare forms and set some administrative procedures, but only borough council has statutory authority to enact regulations.

OPPORTUNITIES FOR IMPROVEMENT

At the work session, borough staff, planning commission, and zoning hearing board identified short term rentals (Airbnb, Vrbo) as the matter most needing to be addressed in the zoning ordinance. The ordinance does not identify and regulate short term rentals as a distinct use. Pennsylvania courts have invalidated other municipalities’ attempts to regulate short term rentals as hotels, motels, B&Bs, or boarding homes.

Recommendations:

- If the borough has concerns about short term rentals and their locations and impacts, the zoning ordinance should be amended to identify them as a distinct use and provide regulations specifying in which zones they may be permitted and addressing health, safety, and neighborhood impacts. Attached as an appendix to this report is a sample of short term rental regulations.
- In addition, the borough should amend the zoning ordinance definition of “family”. In the *Slice of Life* case, the PA Supreme Court ruled the presence of the phrase “single housekeeping unit” in the definition of family is key to denying transient use of single-family dwellings as short term rentals.

The borough staff, planning commission, and zoning hearing board identified other matters not addressed in the current zoning ordinance: pop-up (i.e. temporary) business and other establishments, hookah bars, and CBD product vending machines. The first two can be identified as distinct uses and there are examples of regulations in other municipalities’ zoning ordinances. (Hookah bars have been put in a broader smokers’ lounge use with cigar bars, e-cigarette lounges, and vaping lounges.) The third matter would likely present legal challenges to try to regulate through zoning.

Zoning ordinances are increasingly incorporating form and character standards. “Form-based regulations” as these are known emphasize the importance of the “form” of development (scale, placement, features) in establishing compatibility with the neighborhood.

PJC 16

Recommendation:

- In updating the comprehensive plan then the zoning ordinance, the borough should consider if implementation of form and character standards would benefit any areas of the borough. The central business district is a likely candidate. Examples of form-based standards in central business districts include requirements for windows along street fronts, front-facing main entrances, rear or side off-street parking, two-story minimum building height, and preference for projecting and wall signs.

Zoning ordinances are also increasingly incorporating sustainability standards. The borough's current ordinance does, for example, permit solar and wind energy systems as accessory uses. Another matter that can be incorporated into zoning, if not addressed in the stormwater or subdivision ordinances, are low-impact and green stormwater practices.

DENNY PUKO, PLANNING CONSULTANT LLC

dennypuko@dpukoplanning.com
412.526.0941

20 Jaycee Drive
Pittsburgh, PA 15243

APPENDIX
SAMPLE ZONING REGULATIONS FOR SHORT TERM RENTALS

Below are sample zoning regulations for short term rentals. They include an extensive variety of regulations found in zoning ordinances of Pennsylvania municipalities. The sample should be considered a menu of options rather than a specific recommendation for enactment.

Short-term rental – Any dwelling unit owned or managed by a person, firm or corporation which is used for overnight lodging and rented or leased for periods of less than 30 consecutive days.

The commencement of short-term rental activity of a dwelling unit shall be considered a change in use of the property, and the short-term rental shall be permitted only as a conditional use/special exception use in certain zoning districts as specified in this ordinance, provided it will meet the following standards:

- A. Occupancy of a short-term rental shall be limited to no more than two (2) persons per bedroom plus four (4) additional persons, or a maximum of fourteen (14) occupants, whichever is less.
- B. The maximum number of day guests allowed at any one time, in addition to the occupants, shall be seventy-five percent (75%) for the maximum permitted occupancy of the short-term rental.
- C. Outdoor parking for occupants and day guests shall be limited to available parking areas on the short-term rental property. In no event shall parking for short-term rental tenants include spaces in any public street right-of-way or on any lawns or vegetated areas. A maximum of one car per bedroom is permitted for any short-term rental unit.
- D. A short-term rental property shall not have any outside appearance indicating a change of use from the surrounding residential uses.
- E. Neither short-term rental occupants nor guests shall engage in disorderly conduct or disturb the peace and quiet of any nearby neighborhood or person by loud, unusual or excessive noise, by tumultuous or offensive conduct, public indecency, threatening, traducing, quarreling, challenging to fight, or fighting, or creating a dangerous or physically offensive condition.
- F. The property owner must designate a local property representative who shall be available 24 hours per day, seven days per week, for the purpose of: (a) responding within one hour to complaints regarding the condition, operation, or conduct of occupants of the short-term rental; and (b) taking remedial action to resolve any such complaints. The name, address, and telephone contact number of the property owner and the local property representative shall be kept on file at the Township.
- G. Overnight occupancy of recreational vehicles, camper trailers, and tents at the property where the short-term rental is located shall not be allowed. Outdoor overnight sleeping of occupants or guests of the short-term rental is prohibited.
- H. A short-term rental may not be used for a purpose other than or not incidental to its use for overnight lodging. This restriction includes using the rental for a wedding, banquet, reception, bachelor or bachelorette party, concert, fundraiser, sponsored event, or any similar group activity.

- I. No outdoor advertising signs related to the rental dwelling shall be allowed on the site.
- J. The property owner shall maintain on file at the Township an up-to-date certificate of insurance documenting that the dwelling is insured as a short-term or vacation rental.
- K. All short-term rentals shall have a clearly visible and legible notice posted within the dwelling unit on or adjacent to the front door containing the following information:
 - 1. The name of the local property representative and a telephone number at which that party can be reached on a 24-hour basis.
 - 2. The 911 address of the property.
 - 3. The maximum number of occupants permitted to stay in the dwelling unit and the maximum number of day guests permitted at any one time.
 - 4. The maximum number of all vehicles allowed to be on the property and the requirement that all guest parking must be parked in the available parking areas on the property and not in or along any private, community or public street right-of-way or on any lawn or vegetated area on the property.
 - 5. The trash pick-up day and notification that trash and refuse shall not be left or stored on the exterior of the property.
- L. All short-term rentals shall be equipped with the following:
 - 1. Smoke detectors in each bedroom.
 - 2. Smoke and carbon monoxide detectors outside each bedroom in common hallways.
 - 3. Smoke and carbon monoxide detectors on each floor.
 - 4. GFI outlets for outlets located within six (6) feet of water source.
 - 5. Aluminum or metal exhaust from dryer.
 - 6. Fire extinguisher in kitchen conspicuously located.
 - 7. Stairs (indoor and outdoor) in good condition.
 - 8. Swimming pools, hot tubs and spas must meet the barrier requirements as indicated in the Pennsylvania Uniform Construction Code.

PJC 19

MEMORANDUM OF UNDERSTANDING (MOU)

Between the Borough of Castle Shannon and Pennsylvania Solar Center for partnership
on the

GET SOLAR-CONNECT PROGRAM

This document describes the agreed-upon responsibilities and expectations between the Borough of Castle Shannon [MUNICIPALITY], with offices located at 3310 McRoberts Road, Castle Shannon, PA 15234, and Pennsylvania Solar Center [PA SOLAR], a nonprofit 501(c)(3) organization with offices located at 1435 Bedford Avenue, Suite 140, Pittsburgh, PA 15219 to collaborate on technical assistance through PA SOLAR's GET Solar Program [PROGRAM] with partnership with CONNECT to help MUNICIPALITY explore solar for use on their own properties located within the geographic boundaries of MUNICIPALITY.

Under this agreement, MUNICIPALITY and PA SOLAR mutually agree to:

- Collect and share relevant information between the organizations to enable PA SOLAR to create a well-informed estimate and bids from qualified solar developers for MUNICIPALITY that provides MUNICIPALITY the opportunity to make an educated decision about if, and how, they chose to move forward with a solar installation;
- Meet on a regular basis as outlined in the Request for Application (RFA) to review strategy and results;
- Work towards the goal of installing a minimum of one solar project on a MUNICIPAL-owned property.

Under this agreement, MUNICIPALITY agrees to:

- Abide by the timeline and scope of work that is agreed upon at the beginning of the PROGRAM in the RFA;
- Provide PA SOLAR with all the necessary documents necessary to create a transparent and fair bidding process, including but not limited to electric bills, maps and surveys of land designated for ground mount systems, existing structural and electrical drawings or for buildings, pictures of electrical service infrastructure;
- Be present and onsite during the pre-bid meeting with interested developers to take them on a tour of the facilities;
- Provide PA SOLAR with either a decision to move forward into the contract phase with a selected developer or with a NO-GO decision within **two months** of receiving the bids from developers and the proposal analysis from the GET Solar Team;
- Only work within the GET Solar process to acquire bids for the project. If MUNICIPALITY chooses to get additional bids outside of the original bidding process, MUNICIPALITY chooses to do so without support from the GET Solar Team. At that point, the GET Solar Team is under no obligation to continue providing support and assistance. PA SOLAR is committed to running a fair and unbiased bidding process with the municipality and with quality developers. This provision is necessary to preserve the integrity of the PROGRAM;
- Agrees to not communicate directly with developers during the bidding process in order to preserve an unbiased and fair bidding process;
- Include PA SOLAR and CONNECT on all media and press communications, including social media and press releases for all solar projects in MUNICIPALITY that have

MGR 1

materialized as result of the PROGRAM that includes PA SOLAR as the provider of technical assistance, when referencing technical assistance through the program.

Under this agreement, PA SOLAR agrees to:

- Provide MUNICIPALITY with regular updates on the progress of projects and report on the activities and results until the end of the agreement term;
- Provide preliminary solar feasibility analysis for all potential solar property in the application, including estimates of the cost to purchase the solar system as well as information regarding potentially-available tax credits or refunds available from the federal government, state or other sources, as known by PA SOLAR;
- Meet virtually with MUNICIPALITY representatives to explain the process and benefits of going solar, gather needed information and documentation, detail the benefits and obstacles of going solar at specific sites, review the feasibility analysis, and provide recommendations for moving forward;
- Issue a request for proposal (RFP) on behalf of MUNICIPALITY and/or a group of MUNICIPALITIES in the program to identify qualified developers. The RFP and RFP process will be reviewed in advance with MUNICIPALITY and not released without full permission of the MUNICIPALITY. Alternatively, MUNICIPALITY may choose to issue the RFP on their own behalf with assistance of PA SOLAR, but any bidding process will also include PA SOLAR AND CONNECT's names and description that the RFP is part of PROGRAM through PA SOLAR AND CONNECT;
- PA SOLAR will review proposals received from solar contractors, review options for financing for each potential solar project, and assist MUNICIPALITY with the selection of a qualified solar contractor for the design & construction of the project. NOTE: PA SOLAR will not advise MUNICIPALITY on the actual selection but will provide objective information about the proposals so that MUNICIPALITY may make an informed decision;
- Obtain prior approval from MUNICIPALITY when using MUNICIPALITY name on any public or media communications that reference the involvement of the PROGRAM for which PA SOLAR may be involved to provide technical assistance;
- Provide communications support via PA SOLAR communications consultant as approved by PA SOLAR.

FEES:

- The MUNICIPALITY will not be charged a fee to participate in the PROGRAM;
- PA SOLAR will collect \$0.02/watt from solar developers for the total solar capacity of all contracts for projects that were signed as a result of the PROGRAM. (This provision is transparent and included in all RFPs issued under the PROGRAM.)

Agreement Term:

This MOU will be valid from the time of signature, with the agreement for services beginning May 22, 2023 and ending on September 29, 2023.

Termination:

This MOU may be modified, amended or extended upon the agreement of all parties involved. Failure to honor any of the obligations stated above may also result in the

MGR 2

termination of this Agreement by either party. The terms of the MOU may be terminated by either party with 30 days-notice in writing.

MUNICIPALITY

NAME

TITLE AND ORGANIZATION

DATE

PA SOLAR CENTER

NAME

TITLE AND ORGANIZATION

DATE

MGR 3



2023 DORMONT DASH



TITLE SPONSOR: \$1,500 (One Available)

- Company logo on Dormont Dash Finisher Medal ribbon
- Company logo on Dormont Dash Race Bib
- Company name prominently displayed on banners at the race
- Sponsor Logo (*clickable to your website*) prominently displayed throughout event website, including Results page
- 2 Dedicated Social Media “thank you” post with link to your website
- Newsletter advertisement
- 5 complimentary race registrations



GOLD SPONSOR: \$600

- Sponsor Logo (*clickable to your website*) prominently displayed throughout event website
- Company name displayed on banners posted at the race
- 2 Dedicated Social Media “thank you” post with link to website
- Newsletter advertisement
- 3 complimentary race registrations

SILVER SPONSOR: \$300

- Sponsor Logo (*clickable to your website*) prominently displayed throughout event website
- 1 Dedicated Social Media “thank you” post with link to website
- 2 complimentary race registrations

ALTERNATIVE MONETARY DONATIONS

- If you prefer not to utilize one of the above sponsorship levels, but wish to support the event, please contact us to arrange an alternative monetary donation.
- Alternative monetary donations over \$50 in value will receive:
 - Recognition in a social media post
 - 1 race registration at a 50% discount

IN-KIND DONATIONS AND SWAG BAG

We are seeking a donor willing to supply race “swag bags” to hand out to all runners, which can be branded with your company logo

- Donations of race supplies such as company-branded giveaways, food, beverage, prizes, and services are always appreciated!
- Suggestions include bottled water, sports drinks, t-shirts, key chains, branded giveaway items, etc. Gift cards and other prizes which can be given away at the event
- Set up a booth at the race - Please contact us to discuss options
- In-kind donations over \$50 in value will receive:
 - Recognition in a social media post & 1 race registration at a 50% discount

MGR 4



2023 DORMONT DASH



SPONSORSHIP FORM

Business Name (If Applicable): _____

Primary Contact Name: _____

Email: _____

Mailing Address: _____

Phone: _____

Sponsorship Level:

_____ Title Sponsor (\$1,500)

_____ Gold Sponsor (\$600)

_____ Silver Sponsor (\$300)

_____ Other Amount: \$ _____

_____ In-Kind Donation - Please specify: _____

*Please email high-resolution logo to Beth Bachman at bbachman@boro.dormont.pa.us

**Checks should be made out to the Borough of Dormont.

**For priority placement, please return form and payment as soon as possible
and no later than June 12 to:**

Borough of Dormont
Dormont Dash RE: Bethany Bachman
1444 Hillside Avenue
Pittsburgh, PA 15216

Sponsorships and donations will be accepted through August 25.

Logos will be added as quickly as possible to the website and social media

facebook.com/DormontDash

runsignup.com/Race/PA/Pittsburgh/DormontDash

MGRS



2023 DORMONT DASH



May 12, 2023

Dear Business Owner and Community Member,

The Dormont Dash is back for another round in 2023 after a successful 2022 race! The Dormont Dash is a challenging, hilly 5K through the Borough of Dormont, and a decades-long South Hills tradition. In 2022, there were over 190 participants in the Dormont Dash which includes both a 5K and 1-mile fun run/walk, a record number that keep growing every year! Many family members, friends, and Dormont residents were positioned throughout the race to cheer on our runners & enjoy a great morning event.

We are excited to announce that the 2022 Dormont Dash raised \$4,000 for the Keystone Oaks Education Association to support the KOEA Memorial Scholarship Fund This scholarship fund has awarded more than \$38,000 over the past 15 years to graduating seniors at Keystone Oaks High School.

The 2023 race is scheduled for Sunday, September 10 at 8:00am. The race will be electronically chip timed and managed by GCXC Race Timing & Management.

We are now seeking Community Sponsors for the race who wish to offer monetary and in-kind donations for the event. If you are interested in supporting the race and prospective KOEA student scholarship recipients, please see enclosed a sponsorship form with this letter. If you have any ideas, thoughts, or questions, please feel free to reach out at either 412-561-8900 x227 or email BBachman@boro.dormont.pa.us.

Please see the back of this page for sponsorship levels and the last page for the actual sponsorship form. We appreciate your support of this event and the KOEA Memorial Scholarship Fund.

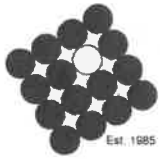
Sincerely,

[Dormont Dash Committee](#)

Borough Representative:
Bethany Bachman, Community Manager
(412) 561-8900 x227
bbachman@boro.dormont.pa.us

Facebook Page: facebook.com/DormontDash
runsignup.com/Race/PA/Pittsburgh/DormontDash

MGR Co



LSSE

Civil Engineers and Surveyors

HEADQUARTERS IN CORAOPOLIS, PENNSYLVANIA

MANAGING PRINCIPALS

Kevin A. Brett, P.E.
Ned Mitrovich, P.E.
Jason E. Stanton, P.E.

May 15, 2023

S. O. No. 253-

VIA EMAIL ONLY
(kstringent@csboro.org)

Ms. Katie M. Stringent, Borough Manager
Borough of Castle Shannon
3310 McRoberts Road
Castle Shannon, Pennsylvania 15234-2711

**Subject: Service Order Authorization
Sleepy Hollow Road and Killarney Drive Pedestrian Improvements
Design and Construction Phase Services**

Dear Ms. Stringent:

Lennon, Smith, Souleret Engineering, Inc. (LSSE) is pleased to provide this Service Order Authorization (SOA) for the Borough's consideration.

The scope of work generally follows the scope of work identified in the July 2022 Commonwealth Financing Authority (CFA) Multi-Modal grant application. Exhibits including Location Maps and LSSE's Opinion of Probable Construction Cost (OPC) dated July 2022 contained within the grant application are attached to this letter.

Notification of a grant award in the amount of \$159,000 was received from CFA in March 2023 and the executed grant agreement was forwarded to the Borough by email dated May 1, 2023.

As the application amount exceeded the grant award amount, it is our understanding the Sleepy Hollow scope of work is the Borough's priority area with the Killarney Drive project area being a secondary consideration.

Within this scope of work, LSSE proposes to design both the Sleepy Hollow scope of work as well as the Killarney Drive scope of work.

The initial bidding phase services will be for the Sleepy Hollow scope of work only. As part of the Killarney Drive scope of work, LSSE will coordinate with Duquesne Light on the borough's behalf to relocate the utility pole that currently bi-sects the Killarney Drive sidewalk.

Bidding of the Killarney Drive scope of work would be as a separate construction contract (upon authorization of the Borough) depending on the bid amounts of the Sleepy Hollow and grant budget remaining.

MGR 7

OFFICES IN: Allegheny, Beaver, Erie and Westmoreland Counties Pennsylvania; Franklin County, Ohio

846 Fourth Avenue Coraopolis, PA 15108 (412) 264-4400 Fax: (412) 264-1200	150 Pleasant Drive, Suite 204 Aliquippa, PA 15001 (412) 264-4400 Fax: (412) 264-1200	10560 Walnut Street Albion, PA 16401 (814) 756-4384 Fax: (814) 756-5638	4534 Route 136, Suite 9 Greensburg, PA 15601 (724) 837-1057 Fax: (412) 264-1200	5980 Wilcox Place, Suite J Dublin, OH 43016 (614) 395-1661
--	---	--	--	--

Ms. Katie M. Stringent, Borough Manager
Borough of Castle Shannon
May 15, 2023
Page 2

Our proposed scope of work includes tasks identified in the attached Design Project Terms and Conditions and the SOA form attached.

LSSE appreciates the opportunity to be of continued service to Castle Shannon Borough. Approval of the SOA and receipt of the attached signed form will serve as our Notice to Proceed.

Should you have any questions or require additional information, please contact me directly.

Sincerely,



Jason E. Stanton, P.E.
Managing Principal

JES:aeg

Attachments

MGR 8

Service Order Authorization

May 15, 2023

		Fee Basis	Estimate
Service Order Number:	253-		
Description:	Sleepy Hollow Road and Killarney Drive Pedestrian Improvements Design and Construction Phase Services		
Scope of Services and Basis of Compensation:	1. Supplemental Topographic Survey and Base Mapping (Both Work Areas)	Per Diem	\$ 4,900.00
	2. Design (Both Work Areas)	Per Diem	\$ 13,900.00
	3. Bidding Phase Services (Sleepy Hollow Work Area)	Per Diem	\$ 5,900.00
	4. Bidding Phase Services (Killarney Drive Work Area)	Per Diem	\$ 5,900.00
	5. Permitting Services (Both Work Areas)	Per Diem	\$ 3,900.00
	6. Grant Funding Support (as required on an as requested basis)	Per Diem	\$ 2,900.00
	7. General Project Services (Both Work Areas) ⁽¹⁾	Per Diem	\$ 5,900.00
	8. Resident Project Representative (Both Work Areas) ⁽¹⁾	Per Diem	\$ 12,900.00
	TOTAL		\$ 56,200.00

⁽¹⁾ Assumes one-month construction schedule.

NOTE: Reimbursable expenses are not included in the cost. Reimbursable expenses will be billed at cost plus 10% and include copies, mileage and reproduction.

I, Katie M. Stringent, Manager, authorize LSSE to proceed with the Engineering Services listed above, in accordance with the Terms and Conditions of the Engineering Services Agreement executed by the Borough and the attached Design Terms and Conditions.

Katie M. Stringent, Manager
Borough of Castle Shannon

Date

MGR 9

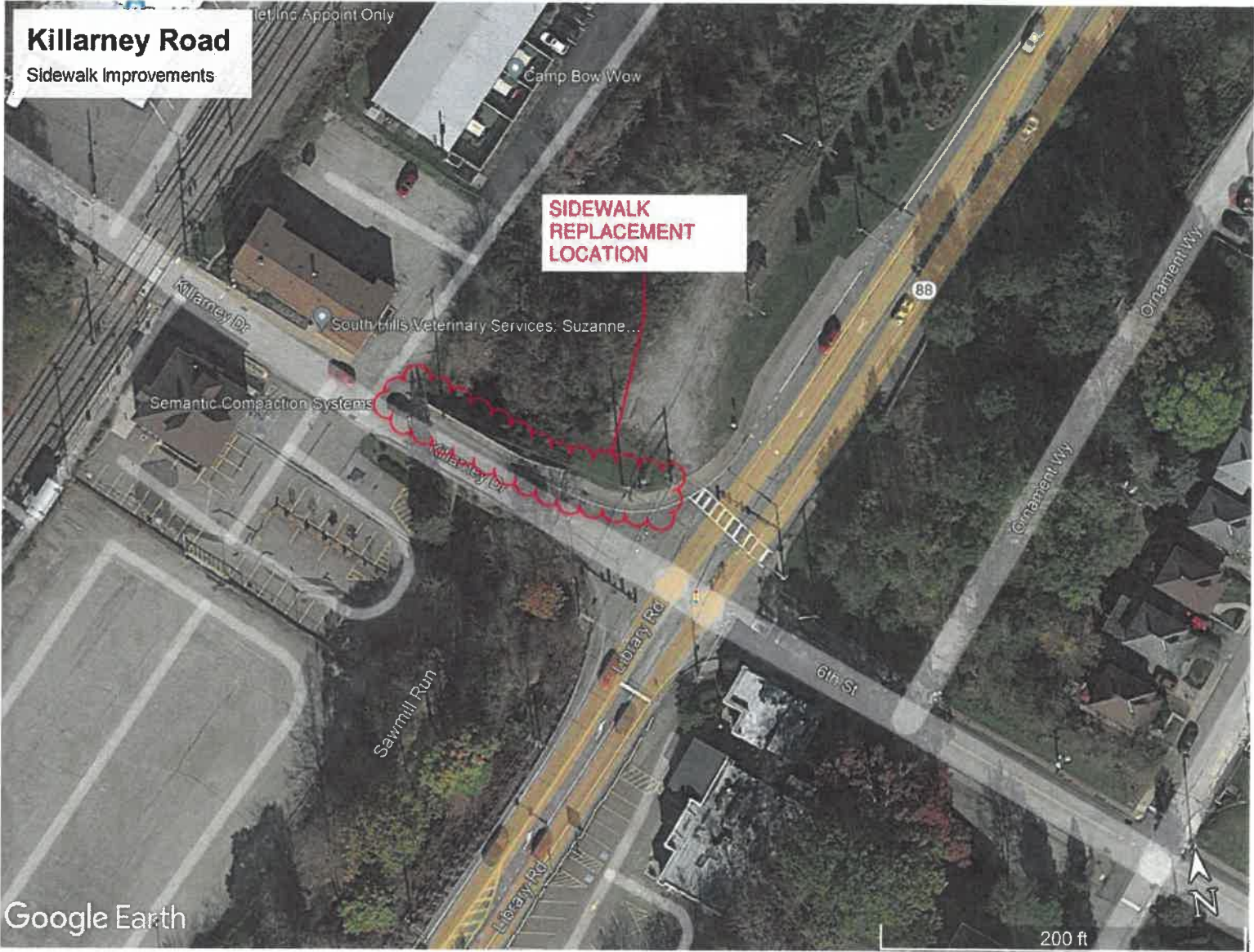
PRELIMINARY OPINION OF PROBABLE COST

**Borough of Castle Shannon
Borough Wide Pedestrian Improvements**

Prepared by:
Lennon, Smith, Souleret Engineering, Inc.
Dated: July 2022

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNIT	UNIT PRICE	TOTAL PRICE
Sleepy Hollow Sidewalk					
1	Earthwork and Grading	1	LS	\$30,000.00	\$30,000
2	Concrete Sidewalk (4" Depth), Reinforced including Demolition, Excavation, 4" AASHTO No. 57 Aggregate Subbase (as directed)	2,500	SF	\$20.00	\$50,000
3	Curb Cut Ramps – ADA Compliant, including Demolition, Excavation, 4" AASHTO No. 57 Aggregate, Concrete Curb, Cheekwalls, Sidewalk and Detectable Warning Surface as per Detail, including Restoration	4	EA	\$4,000.00	\$16,000
4	Bituminous Roadway / Driveway Adjustment	200	SY	\$200.00	\$40,000
5	Bituminous Wedge Curb, 5" x 12"	300	LF	\$7.00	\$2,100
6	Location of Existing Underground Utilities	1	LS	\$2,500.00	\$2,500
7	Maintenance and Protection of Traffic	1	LS	\$7,500.00	\$7,500
8	Erosion and Sedimentation Controls	1	LS	\$5,000.00	\$5,000
Killarney Sidewalk					
1	Remove and Replace Inlet Box with Type M Inlet and Bike Safe Grate	1	EA	\$5,500.00	\$5,500
2	Crack Sealing	1	LS	\$2,500.00	\$2,500
3	Bridge Structure - Concrete Repairs	1	LS	\$12,000.00	\$12,000
4	Mowing and Removal of Vegetation	1	LS	\$500.00	\$500
5	Rip Rap	75	SY	\$65.00	\$4,875
6	Strong Post Guiderail	45	LF	\$75.00	\$3,375
7	Terminal End Sections	2	EA	\$50.00	\$100
8	Removal and Replacement of Concrete Sidewalk with Curb	450	SF	\$20.00	\$9,000
Smith Road Bridge					
1	Demolition of Existing Bridge	1	EA	\$25,000.00	\$25,000
2	Fiberglass Pedestrian Bridge	1	EA	\$75,000.00	\$75,000
3	Reinforced Concrete Bridge Abutments - Complete In-Place, including Reinforced Concrete Foundation and Walk Support Wall at Both Bridge Abutments	1	LS	\$65,000.00	\$65,000
4	Soldier Beam and Concrete Lagging Retaining Wall Construction includes Removal of Existing Concrete Caisson Foundation	50	LF	\$1,200.00	\$60,000
5	Installation of Gabion Baskets including All Excavation, Geogrid, Class II Fabric, Gabion Stone Fill (No Slag), Riprap and Stone Backfill	30	CY	\$400.00	\$12,000
6	Erosion and Sedimentation Controls	1	LS	\$25,000.00	\$25,000
Construction Subtotal					\$452,950
2% Administration					\$7,300
5% Contingency					\$22,600
10% Engineering					\$36,500
PROJECT TOTAL					\$519,350
TOTAL PROJECT COST					\$519,350
FUNDS REQUESTED					\$365,000
LOCAL FUNDING					\$154,350
% MATCHING FUNDS					30%

MGR 10



Killarney Road
Sidewalk Improvements

**SIDEWALK
REPLACEMENT
LOCATION**

MGR 11

Sleepy Hollow Road

Pedestrian Improvements



MGR 12

DESIGN PROJECT TERMS AND CONDITIONS

Project Description

The construction scope of work of this project was generally identified in the LSSE letter dated May 15, 2023.

Following is a general description for each LSSE task:

Task 1: Supplemental Topographic Survey and Base Mapping (Both Work Areas) –LSSE will provide supplemental field topographical surveys as required to prepare construction drawings as described in Section 2.2 below. Task also includes formatting of base mapping (date of photograph is February 15, 2006) and importation of supplemental topographic information as required to prepare construction drawings as described in Section 2.2 below. Court house research required establishing right-of-way and/or property information, property plotting and Road Right-of-Way Plat plotting are also included in this task. LSSE will prepare preliminary and final Pennsylvania One Calls in accordance with PA One Call requirements.

Task 2: Design (Both Work Areas) - Preparation of construction drawings, contract documents and technical specifications as described in Section 1 below. It is presumed that all work will be located in Borough rights-of-ways.

Task 3: Bidding Phase Services (Sleepy Hollow Work Area) - Provide bidding phase services described in Section 1.3 below.

Task 4: Bidding Phase Services (Killarney Work Area) - Provide bidding phase services described in Section 1.3 below.

Task 5: Permitting Services (Both Work Areas) – LSSE to provide permitting services including preparation of an Erosion and Sedimentation Control Plan. Permit application fees as may be required are the responsibility of the Owner.

Task 6: Grant Funding Support (As required on an as requested basis) – LSSE will provide grant funding support on an as-needed, as requested basis coordinating with the Borough Manager.

Task 7: General Project Services During Construction - Provide construction phase professional services described in Section 1.4 below.

Task 8: Resident Project Representative Services - Provide resident project representative services during construction as described in Section 2 below and in the Duties and Responsibilities of the Resident Project Representative description contained in the annual Engineering Services agreement.

MGR 13

Engineers Services:

The Engineers Services on this Project are fully described as follows:

Section 1 - Scope of Work

The **ENGINEER** will perform engineering services for the preparation of the design in accordance with the requirements set forth as follows:

- 1.1 The **ENGINEER** will consult the **OWNER** concerning the necessity of obtaining specialized services from others.
- 1.2 The **ENGINEER** will perform project design services and will deliver to the **OWNER** Final Construction Plan drawings, contract documents, and technical specifications, which drawings, documents, and specifications shall show the character and scope of work to be performed by the contractors on the project(s) together with specifications in connection therewith, prepare probable construction cost estimates, proposal forms to include Bilt Rite certification, notices to bidders, and assist in the preparation of the contract documents for construction of the improvements described herein. Cost estimates prepared for construction and financing shall be made in accordance with good engineering practices. However, the **ENGINEER** does not guarantee the accuracy of such construction cost estimates when compared to actual costs or contractors' bids since the **ENGINEER** has no control over construction costs, competitive bidding, and market conditions or financing costs.
- 1.3 After the **OWNER** has given authorization to proceed with the bidding phase, the **ENGINEER** will assist the **OWNER** in the bidding procedure by providing any necessary copies of the Plans and Specifications, attend bid opening, tabulate bids, and prepare a bid report with recommendations for award.
- 1.4 During the construction phase of the project which will commence with the award of the construction contract and end upon the written approval of final payment by the **ENGINEER**, the **ENGINEER** will provide general project services as construction progresses, which services will include the following:
 - a. General engineering observation of the work of the contractors as construction progresses.
 - b. Interpretation of the intent of the drawings and specifications to protect the **OWNER** against defects and deficiencies in construction on the part of the contractors. The **ENGINEER** will not, however, guarantee the performance by any contractor.
 - c. Advise and consult with the **OWNER** as its representative with all of the **OWNER's** instructions to the contractor issued through the **ENGINEER**.
 - d. Make periodic visits to the site to observe the progress and quality of the executed work and to determine in general if the work is proceeding in accordance with the contract

MGR 14

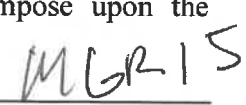
documents, and during such visits and on the basis of his on-site observations will keep the **OWNER** informed of the progress of the work, endeavor to guard the **OWNER** against defects and deficiencies in the work of the contractors, and disapprove or reject work when it fails to conform to the contract documents, the **ENGINEER** will not, however, be responsible for the Contractor's failure to perform the construction work in accordance with the contract documents.

- e. Review shop drawings, diagrams, illustrations, brochures, catalog data, schedules and samples, the results of tests and inspections and other data which the contractor is required to submit, but only for conformance with the design concept of the project and compliance with information given in the contract documents.
- f. Prepare routine change orders as required.
- g. Determine the amount owed to the contractor and approve in writing periodic payments to be made to the contractor by the **OWNER**.
- h. Conduct inspections to determine if the project is substantially complete, and final inspections to determine if the project has been completed in accordance with the contract documents and the contractor has fulfilled all of his obligations so that the **ENGINEER** may approve, in writing, final payment to the contractor.

In providing the services enumerated herein the **ENGINEER** shall not be responsible for the acts or omissions of the contractors, subcontractors, their agents or employees, or any other persons performing any of the work under the construction contract. The construction means, methods, techniques, procedures, and sequences of construction as well as security and safety precautions and programs required to perform the work in a safe manner shall remain the sole responsibility of the contractor(s) performing the work.

Section 2 - Additional Services

- 2.1 If authorized by the **OWNER**, the **ENGINEER** will furnish one (1) or more full-time Resident Project Representatives to be directed by the **ENGINEER** in order to provide more extensive representation at the project site, but the furnishing of such Resident Project Representation shall not make the **ENGINEER** responsible for contractor's failure to perform the construction work in accordance with the contract documents. The Resident Project Representative shall perform services as defined in the "Exhibit A – Duties, Responsibilities and Limitations of Authority of Resident Project Representative", as defined by the National Society of Professional Engineers (copy attached). The **ENGINEER** does not guarantee the performance of the contractor(s) by the **ENGINEER's** performance of such detailed construction observation. The **ENGINEER's** undertaking hereunder shall not relieve the contractor of his obligation to perform the work in conformity with the drawings and specifications and in a workmanlike manner; shall not make the **ENGINEER** an insurer of the contractor's performance, and shall not impose upon the **ENGINEER** any obligation to see that the work is performed in a safe manner.



- 2.2 If authorized by the **OWNER**, the **ENGINEER** will furnish, or obtain from others, additional services of the following types:
- A. All topographic site survey and related survey work required for design or locating core borings.
- i. Subsurface Obstructions shown on the drawings.
- ii. Certain information regarding the reputed presence, size, character, and location of existing underground structures, pipe and conduits has been indicated on the survey and recorded as such in good faith. There is no certainty of the accuracy of this information, and the location of underground structures indicated may be inaccurate. Information regarding the reputed presence, size, character, and location of existing underground structures, pipe and conduits was obtained through the Pennsylvania One-Call system subject to limitations of the facility owner providing said information. As identified in the Pennsylvania Underground Utility Line Protection Act the quality of subsurface utility information is characterized as one of four types in accordance with the "ASCE – Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data CI/ASCE 38-02" as follows:
- a. *Utility quality level A: Precise horizontal and vertical location of utilities obtained by the actual exposure (or verification of previously exposed and surveyed utilities) and subsequent measurement of subsurface utilities, usually at a specific point. Minimally intrusive excavation equipment is typically used to minimize the potential for utility damage. A precise horizontal and vertical location, as well as other utility attributes, is shown on plan documents. Accuracy is typically set to 15-mm vertical and to applicable horizontal survey and mapping accuracy as defined or expected by the project owner.*
- b. *Utility quality level B: Information obtained through the application of appropriate surface geophysical methods to determine the existence and approximate horizontal position of subsurface utilities. Quality level B data should be reproducible by surface geophysics at any point of their depiction. This information is surveyed to applicable tolerances defined by the project and reduced onto plan documents.*
- c. *Utility quality level C: Information obtained by surveying and plotting visible above-ground utility features and by using professional judgment in correlating this information to quality level D information.*
- d. *Utility quality level D: Information derived from existing records or oral recollections.*



For this Engineering/Surveying Services Contract, all existing subsurface utility information presented on the existing conditions drawings is characterized as either Utility quality level C or Utility quality level D. Test hole excavations verifying the information shown on the Contract Drawings were not performed by the Engineer/Surveyor.

- B. All survey work required in the preparation of property boundary, right-of-way, and easement drawings.
- C. Preparation of any and all special reports and/or performance of such services as may be required by the **OWNER** or any governmental agencies for the purpose of accompanying or supplementing information contained on Federal or State Grant-In-Aid applications and/or the requests of payment of same.
- D. Preparing special change orders requested by the **OWNER**.
- E. Making an inspection of the project prior to expiration of the guarantee period and reporting observed discrepancies under guarantee provided by the construction contract.
- F. Furnishing the **OWNER**, on request, a set of reproducible record prints of drawings showing those changes made during the construction process, based upon the marked-up prints, drawings and other data furnished by the contractor to the **ENGINEER** and which the **ENGINEER** considers significant.

Section 3 - General Consideration

- 3.1 The **ENGINEER** shall secure and maintain such insurance as will protect it from claims under the Workman's Compensation Acts and from claims for bodily injury, death, or property damage which may arise from the performance of his service under this **AGREEMENT**.
- 3.2 All documents, including original drawings, estimates, specifications, field notes and data are and remain the property of the **ENGINEER** as instruments of services. The **OWNER** may, at their expense, obtain a set of reproducible record prints of drawings and copies of other documents, in consideration of which the **OWNER** will use them solely in connection with the project.
- 3.3 The **OWNER** and the **ENGINEER** each binds itself and its successors and assigns to this **AGREEMENT**. Neither the **OWNER** nor the **ENGINEER**, shall assign, sublet, or transfer its interest in this **AGREEMENT** without the written consent of the other. Nothing herein shall be construed as creating any personal liability on the part of any officer or agent of any public body which may be a party hereto, nor shall it be considered as giving any rights or benefits hereunder to anyone other than the **OWNER** and the **ENGINEER**.
- 3.4 This **AGREEMENT** may be terminated by either party upon sixty (60) days written notice to the other party, with terminal payments to be made to the **ENGINEER** for all services performed to the termination date, including expenses.

MGR 17

- 3.5 The **ENGINEER** will deliver two (2) sets of the final drawings and contract documents to the **OWNER**.

Section 4 - Termination of Services

- 4.1 Termination of Service for Cause - If, through any cause within the **ENGINEER's** sole control, the **ENGINEER** shall fail to fulfill in a timely and proper manner his obligations under this **AGREEMENT** or if the **ENGINEER** shall violate any of the material covenants, agreements, or stipulations of this **AGREEMENT**, the **OWNER** shall thereupon have the right to terminate this **AGREEMENT** by giving written notice to the **ENGINEER** of such termination and specifying the effective date thereof, at least thirty (30) days before the effective date of such termination. In such event, notwithstanding the provisions of Section 3, Paragraph 3.4, all finished or unfinished documents, data, studies and reports prepared by the **ENGINEER** under this Contract shall, at the option of the **OWNER**, become his property and the **ENGINEER** shall be entitled to promptly receive just and equitable compensation for any satisfactory work completed on such documents.
- 4.2 Termination of Service for Convenience of **OWNER** or for Reasons Beyond the Control of the **ENGINEER** - If all or any part of the professional engineering services to be performed under the **AGREEMENT** are ordered to be suspended or omitted by the **OWNER** for any reason except "cause" as described in Section 4, Paragraph 4.1 above, including reasons beyond the control of the **ENGINEER**, the **OWNER** agrees to make such order in writing at least 30 days prior to the desired date of termination or suspension of services and to promptly pay the **ENGINEER** for such suspended or omitted services the accumulated fees to the date of termination of service in accordance with the method of payment described in Section 4. In case of temporary suspension, the **ENGINEER** shall remain obligated to perform and complete the contract on its part upon written request of the **OWNER** to so resume said service.

Section 5 - Professional Liability

- 5.1 All professional services provided under this **AGREEMENT** will be performed, findings obtained and recommendations prepared in accordance with generally accepted engineering and scientific principles and practices and standards of ordinary care. This warranty is in lieu of all other warranties either expressed or implied.
- 5.2 For any damage on account of any error, omission, or other professional negligence, **ENGINEER's** liability shall be limited to compensatory damages only, which shall not exceed the amount of the **ENGINEER's** fee.

MGR 18

**CASTLE SHANNON BOROUGH
INVITATION FOR BIDS**

Castle Shannon Borough will receive bids for the Traffic Signal Installation project at the following intersection:

- Mount Lebanon Blvd traffic signal RRFB flashing warning device

Bids will be received until 10:00 a.m. on Tuesday, June 13, 2023 by Castle Shannon Borough, 3310 McRoberts Rd, Castle Shannon, PA 15234. All envelopes containing bid proposals shall be clearly marked "CASTLE SHANNON BOROUGH TRAFFIC SIGNAL RRFB INSTALLATION". Bids will be publicly opened and read aloud at that time.

Copies of the Bidding Documents may be obtained at the office of Trans Associates Engineering Consultants, Inc., Suite 400, 4955 Steubenville Pike, Pittsburgh, Pennsylvania 15205, upon a non-refundable payment of \$50.00 for each set of plans and specifications.

A certified check or bank draft payable to the order of Castle Shannon Borough, or a satisfactory Bid Bond executed by the Bidder and an acceptable surety, in an amount not less than ten percent (10%) of the total bid shall be submitted with each bid. All bids must be submitted on a lump sum basis.

Castle Shannon Borough reserves the right to reject any and all bids or to waive any informality in the bidding.

Bidders must be pre-qualified by the Pennsylvania Department of Transportation and submit proof thereof with their bid.

Bidder shall comply with all state and federal laws prohibiting discrimination in hiring or employment opportunities.

Pennsylvania prevailing minimum wage rates will apply.

Bids may be held by Castle Shannon Borough for a period not to exceed forty-five (45) days from the date of opening of Bids for the purpose of reviewing the bids and investigating the qualifications of Bidders prior to awarding the Contract.

Castle Shannon Borough

Katie Stringent
Borough Manager
Castle Shannon Borough

MGR 19

May 4, 2023

Council President Heckmann,

I am writing to inform you of my formal resignation from the position of Borough Manager with the Borough of Castle Shannon. I would like to offer my sincere thanks for the opportunity to serve both the board and the community for the last year and a half. With my resignation I will be taking a position in the Community Development Department with Moon Township. This position allows me to return to my passion for land use and planning, where I began my career in local government. My last day with the Borough will be Friday, June 2, 2023.

Throughout my time with Castle Shannon, I have had the opportunity to work with individuals who share a common passion for the success and strength of the community. I have also had the opportunity to work with a staff dedicated to serving the public. I am certain that even in my absence, this hard work and dedication will only continue to shine.

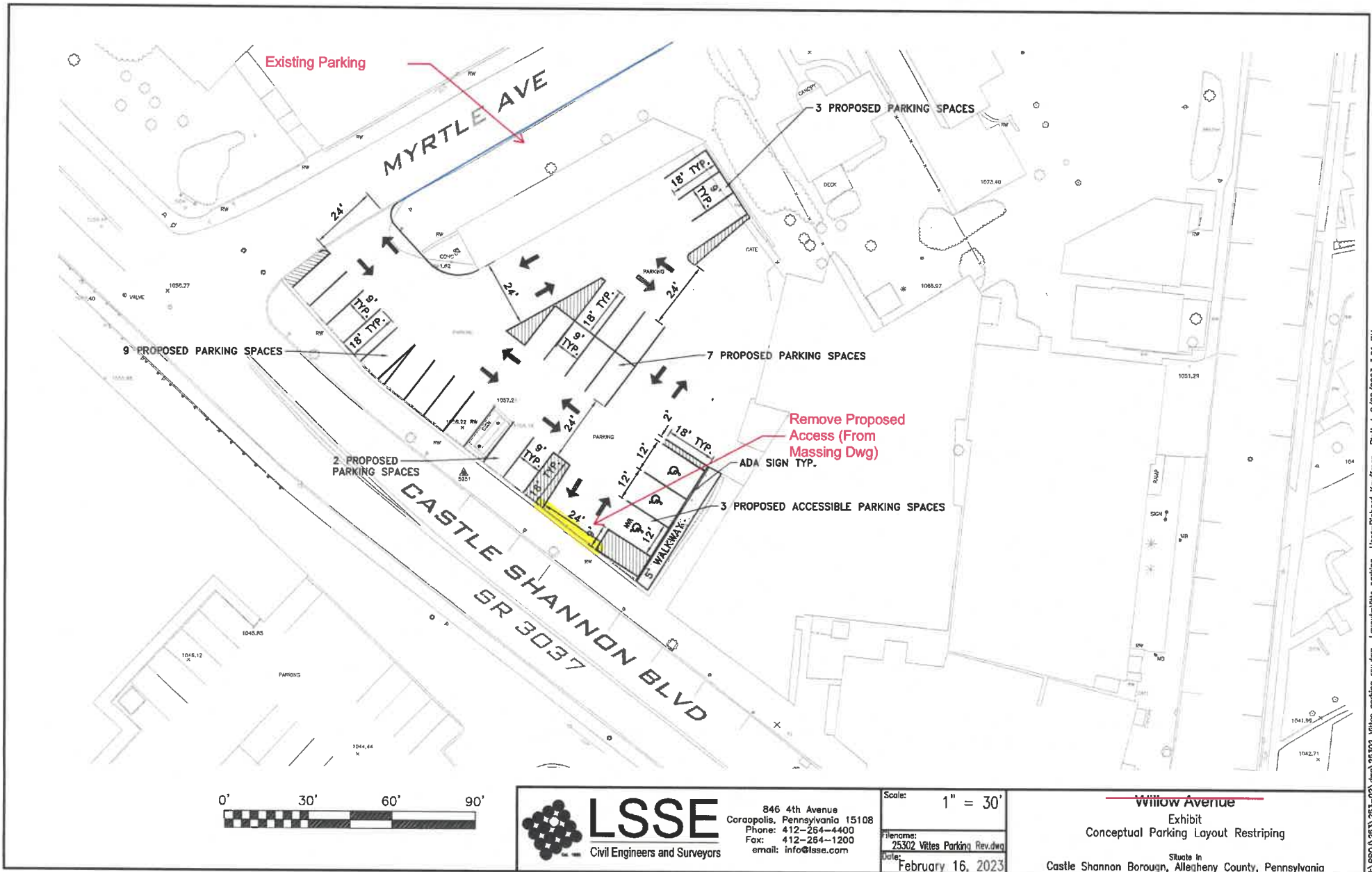
In my remaining weeks with the Borough, I am committed to wrapping up the projects within my capacity and producing comprehensive accounting of all outstanding work. I will produce a complete log of all current work product and projected slated to be begin in the near future.

I again thank Borough Council for the opportunity to serve Castle Shannon and wish the community the best in the future. I will make myself available as necessary should matters arise needing my assistance.

Sincerely,


Katie M. Stringent

MGR 20



846 4th Avenue
 Coraopolis, Pennsylvania 15108
 Phone: 412-264-4400
 Fax: 412-264-1200
 email: info@lsse.com

Scale: 1" = 30'
 Filename: 25302 Vites Parking Rev.dwg
 Date: February 16, 2023

Willow Avenue
 Exhibit
 Conceptual Parking Layout Restriping
 Situate in
 Castle Shannon Borough, Allegheny County, Pennsylvania

H:\PROJ\253-02\dwg\25302 Vites parking rev.dwg Layout=vita parking User=Richard Kauffman Plotted=2/22/2023 3:01 PM

MGR 21